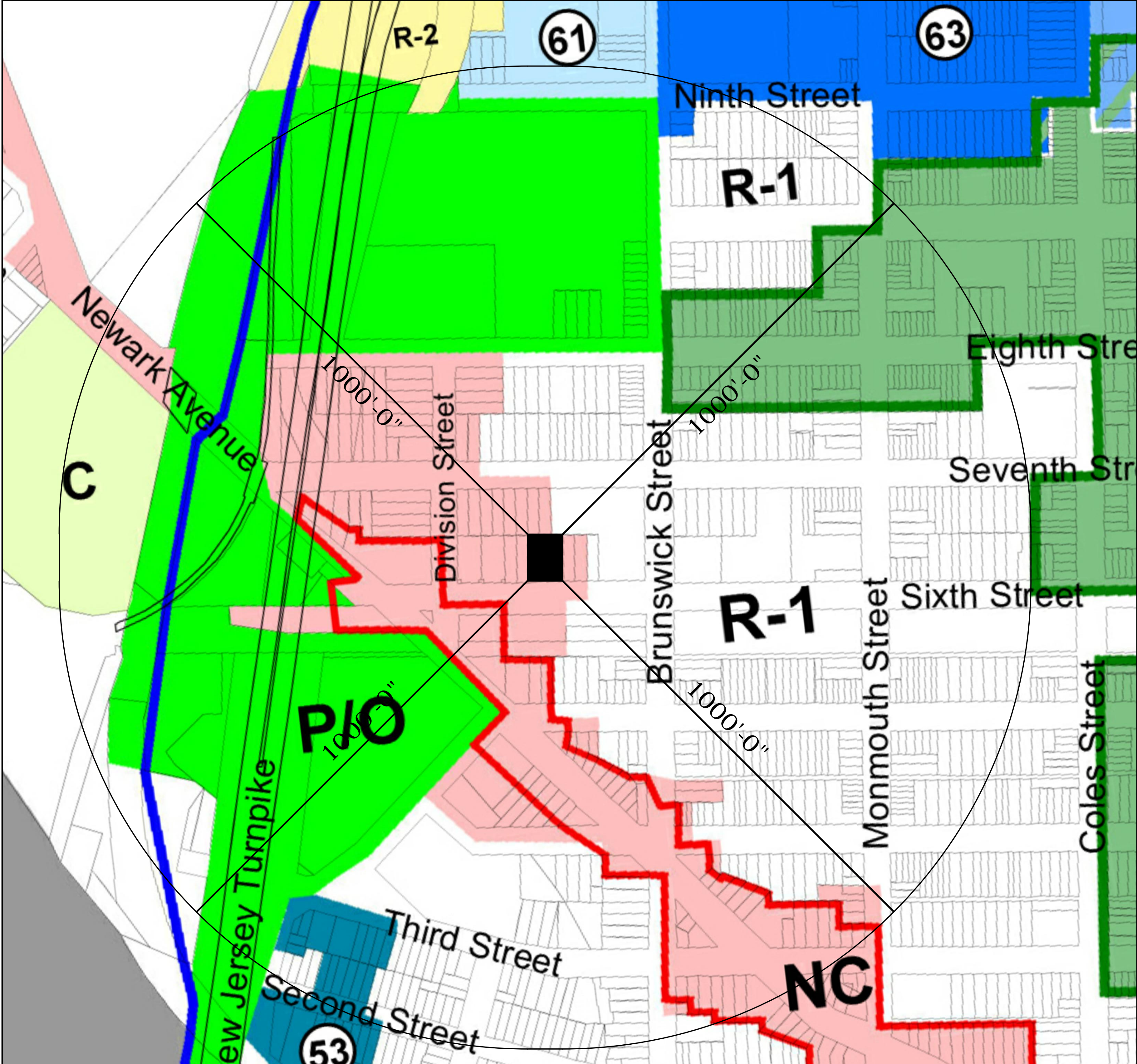


PROPOSED 6 STORY RESIDENTIAL BUILDING WITH 5
RESIDENTIAL FLOORS OVER 1ST FLOOR PARKING AT:
366 6TH STREET,
BLOCK 9803, LOTS 9, JERSEY CITY
HUDSON COUNTY, NEW JERSEY 07030

DRAWING LIST

- Z-1 TITLE SHEET, KEY PLAN, VICINITY MAP AND ZONING TABULATION CHART
- Z-2 EXISTING SITE PLAN AND PROPOSED SITE IMPACT PLAN
- Z-3 SITE PLAN SHOWING UTILITIES AND UTILITY CONNECTION DETAILS
- Z-4 SITE PLAN SHOWING LIGHTING, LANDSCAPING AND DETAILS
- Z-5 1ST FLOOR PLAN, 2ND THROUGH 6TH FLOOR PLANTYP) & DETAILED LAYOUTS(TYP)
- Z-6 ROOF PLANS, TOP OF BULKHEAD PLAN AND ROOFING DETAILS
- Z-7 BUILDING ELEVATIONS
- Z-8 BUILDING ELEVATIONS
- Z-9 SITE PHOTOS



ZONING MAP SHOWING THE 1000' RADIUS AND THE 200' RADIUS
SCALE = 1/128" = 1'-0"

ZONING TABULATIONS

ZONE NC

NEIGHBORHOOD COMMERCIAL DISTRICT

		ORDINANCE	PROPOSED	VAR REQ'D	BUILDING AREA: 1ST FLOOR: = 7,500 SF 2ND FLOOR: = 6,375.00 SF 3RD FLOOR: = 6,375.00 SF 4TH FLOOR: = 6,375.00 SF 5TH FLOOR: = 6,375.00 SF 6TH FLOOR: = 6,000.00 SF TOTAL BUILDING AREA = 39,000.00 SF LOT COVERAGE 100% UNIT BREAKDOWN: (15) 2-BEDROOMS (5) 3-BEDROOMS
345-45 B(4)	PERMITTED USE	RESIDENTIAL ABOVE GROUND FLOOR	20 RESIDENTIAL UNITS ABOVE PARKING	NO	
345-45 D(2)	LOT AREA (MIN.)	2,500 S.F.	7,500 SF	NO	
345-45 D(3)	LOT WIDTH (MIN.)	25 FT.	75 FT	NO	
345-46 D(4)	LOT DEPTH (MIN.)	100 FT.	100 FT	NO	
345-45 D(5)	FRONT YARD SETBACK	NONE	0 FT. 5'-0" FT. AT 5TH FLOOR	NO	
345-45 D(6)	SIDE YARD SETBACK MIN.	NONE	0 FT.	NO	
345-45 D(7)	REAR YARD SETBACK MIN.	15 FT	0 FT. AT GROUND FLOOR 15 FT. AT 1ST TO 5TH FL.	YES NO	
345-45 D(8)	BUILDING HEIGHT (MIN.)	3 STORIES	6 STORIES 66'-0"	NO	
345-45 D(9)	BUILDING HEIGHT (MAX.)	5 STORIES FROM GRADE	6 STORIES ABOVE GRADE	YES	
345-45 D(9-B)	MIN. FLOOR TO CEILING HGT. FOR RESIDENTIAL FLOORS	9 FT	11 FT.	NO	
345-45 E(f)	OFF STREET PARKING (MIN.)	20 SPACES REQUIRED	20 SPACES PROVIDED SEE NOTE A	NO	
345-10 C	OFF STREET BICYCLE PARKING (RESIDENTIAL WITH 5 OR MORE UNITS)	0.5 PARKING SPACE PER UNIT = 10 REQ'D	16	NO	

NOTE A:
DWELLING UNITS SHALL PROVIDE ON SITE, MIN. OF 1.0 SPACES PER UNIT = 20 SPACES
20 SPACES PROVIDED
19 REGULAR PARKING
6 COMPACT PARKING
1 ADA

ZONING TABULATION CHART

ZONING DISTRICTS

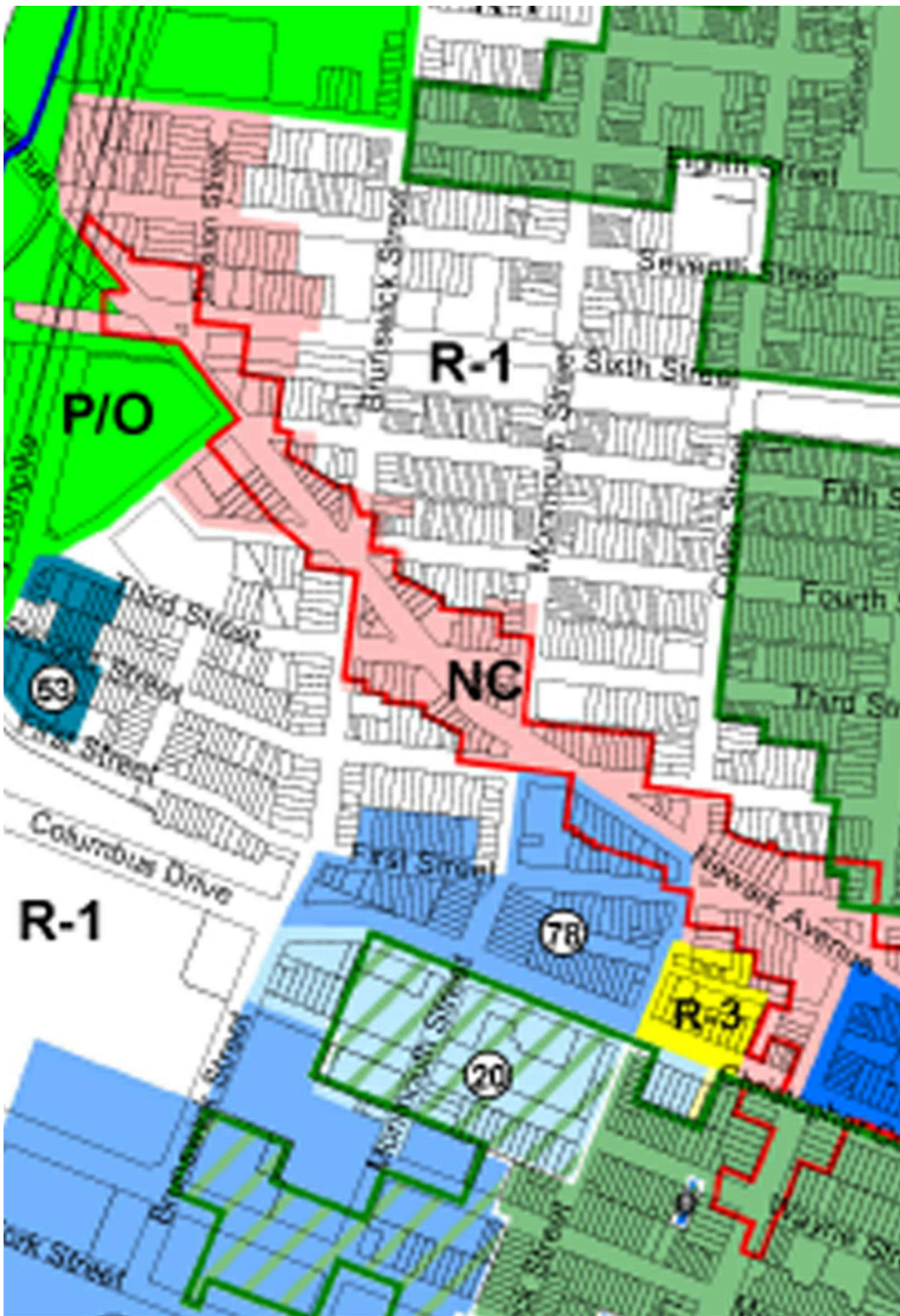
- R-1 ONE AND TWO FAMILY HOUSING
- R-1A ONE AND TWO FAMILY HOUSING
- R-1F ONE AND TWO FAMILY HOUSING
- R-2 MULTI-FAMILY ATTACHED HOUSING (4 STORIES)
- R-3 MULTI-FAMILY MID-RISE
- R-4 MULTI-FAMILY HIGH-RISE
- H HISTORIC DISTRICTS
- OR OFFICE/RESIDENTIAL
- NC NEIGHBORHOOD COMMERCIAL
- C/A COMMERCIAL/AUTOMOTIVE
- HC HIGHWAY COMMERCIAL
- CBD CENTRAL BUSINESS DISTRICT
- U UNIVERSITY
- M MEDICAL
- G GOVERNMENT
- I INDUSTRIAL
- PI PORT INDUSTRIAL
- WPD WATERFRONT PLANNED DEVELOPMENT
- DT DESTINATION TOURISM
- C CEMETERY
- P/O PARKS/OPEN SPACE
- NJMC NEW JERSEY MEADOWLANDS COMMISSION

REDEVELOPMENT PLAN AREAS

see top right panel for full listing.

OVERLAY DISTRICTS

- HISTORIC DISTRICTS
- RESTAURANT OVERLAY ZONE
- PALISADE PRESERVATION OVERLAY
- MARION WORKS OFFICE/RESIDENTIAL
- SUBDISTRICT A
- SUBDISTRICT B

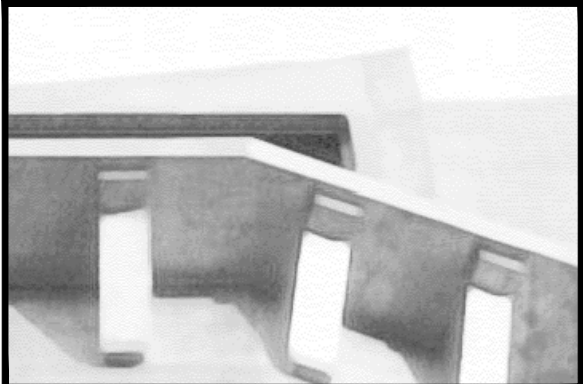


JERSEY CITY ZONING BOARD

CHAIRMAN _____ DATE _____
SECRETARY _____ DATE _____

ZONING BOARD APPROVAL

THE APPLICANT WILL
ADDRESS AND/OR
COMPLY WITH THE
COMMENTS OF THE
JERSEY CITY REVIEW
AGENTS



Minervini Vandermark
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NJ License # 17698
NY License # 32710-1

- 11.10.16 ZONING RESUBMISSION
- 6.21.16 ZONING
Date Issue

Applicant
Kyle Enger

Address
366 - 377 SIXTH STREET,
JERSEY CITY,
LOT 9
BLOCK 9803

Project Description
6 STORY BUILDING WITH
5 RESIDENTIAL FLOORS
OVER FIRST FLOOR PARKING

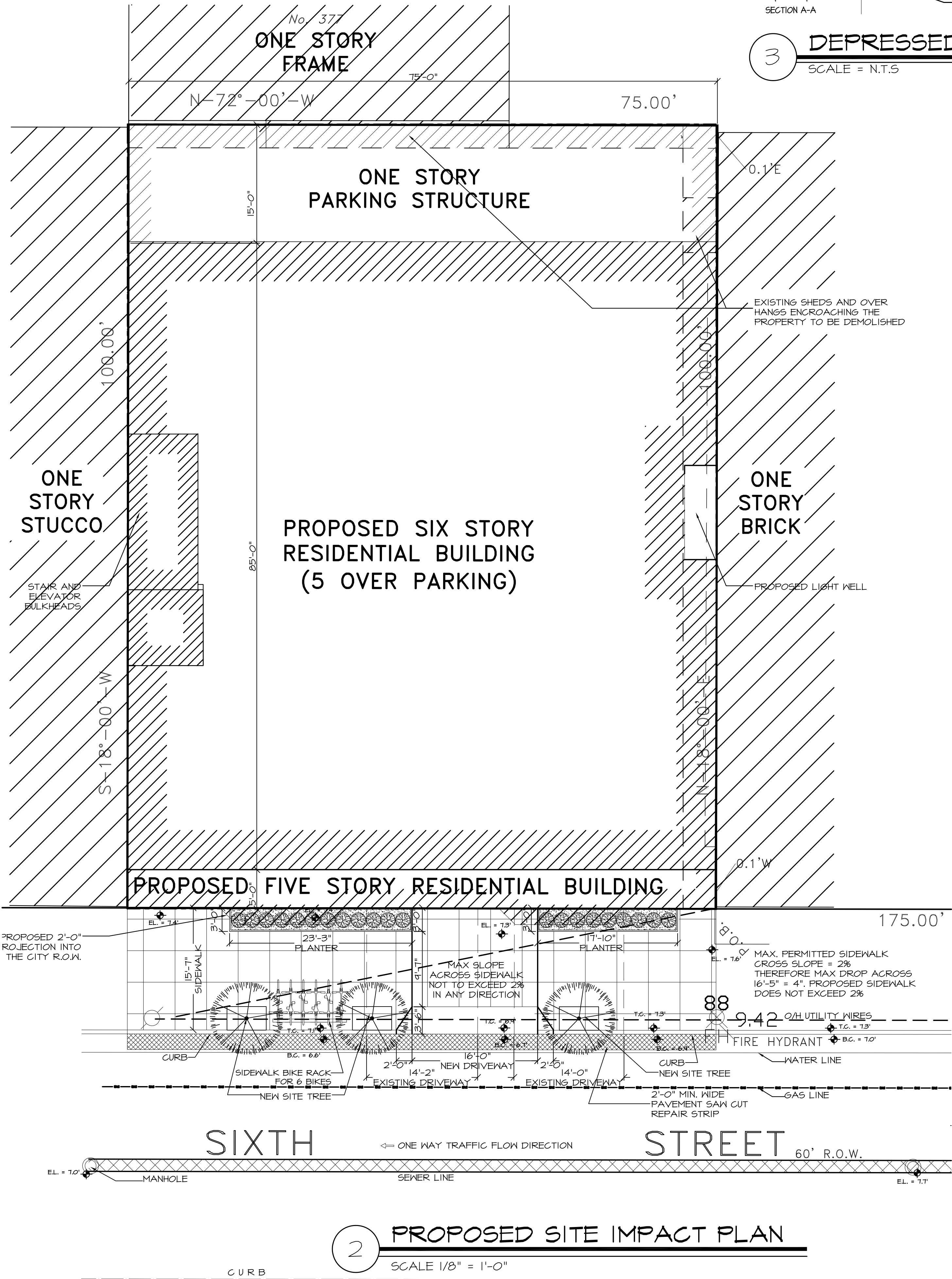
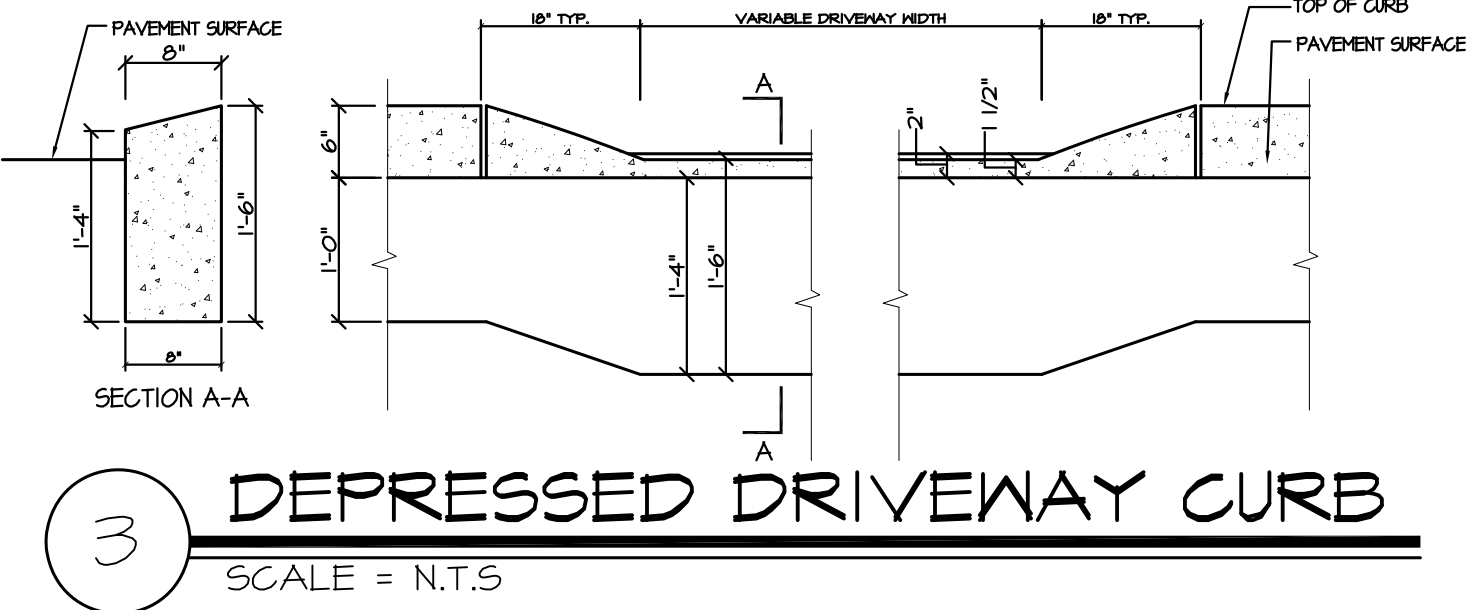
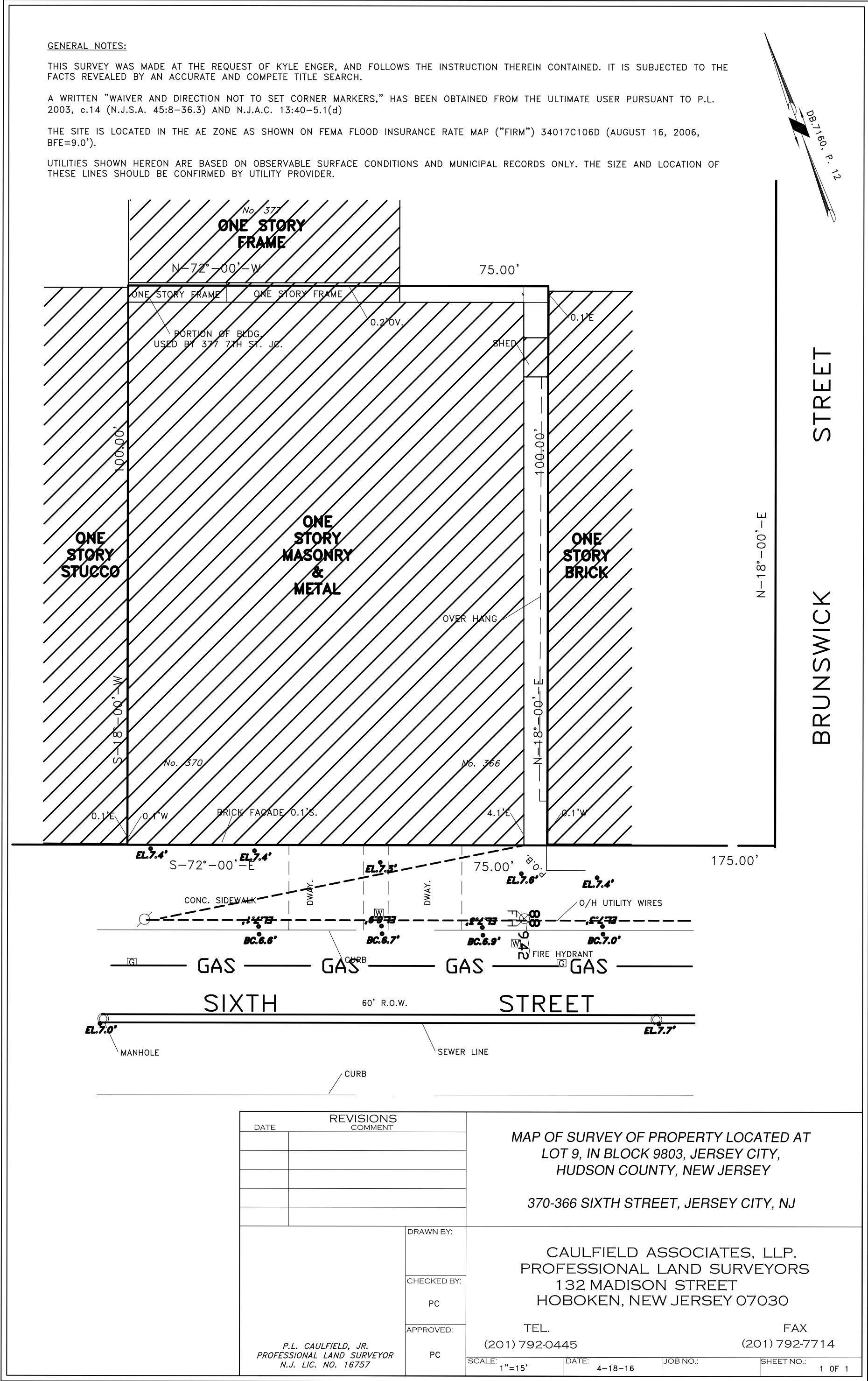
Project Number :16-1299
Drawn by : MJS
Checked by : FJM, ACV
Scale :As Noted

Sheet Title

TITLE SHEET:
-KEY PLAN
-VICINITY MAP
-ZONING TABULATION
CHART

Z-1

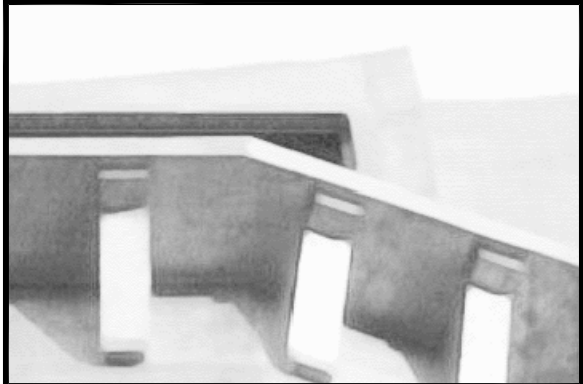
PROJECTED SANITARY SEWAGE FLOW		
PROPOSED USE IS FOR 20 RESIDENTIAL UNITS		
(15) 2 BDRM UNITS WITH 5 PERSONS EA.X15 GPD/PERSON = 5,625		
(5) 3 BDRM WITH 6 PERSONS EA.X15 GPD/PERSON = 2,250		
TOTAL PROJECTED FLOW = 7,875 GPD (105 OCCUPANTS)		
PROJECTED RECYCLING PLAN: 105 PERSONS		
GLASS	1.75 LBS X 105 = 183.75 LBS 105 LBS = 38 GAL. DRUM	2) 33 GALLON CONT.
ALUMINUM	1 LBS X 105 = 105 LBS 74 LBS = 1 CUBIC YARD = (1) 33 GAL. DRUM	(1) 33 GALLON CONT.
TIN	1.5 LBS X 105 = 157.5 LBS 74 LBS = 1 CUBIC YARD = (2) 33 GAL. DRUM	(2) 33 GALLON CONT.
CARD BD. & PAPER	2.5 LBS X 105 = 262.5 LBS 105 LBS = 33 GAL. DRUM	(3) 33 GALLON CONT.



1 EXISTING SITE PLAN
SCALE 1/16" = 1'-0"



2 PROPOSED SITE IMPACT PLAN
SCALE 1/8" = 1'-0"



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- 11.10.16 ZONING RESUBMISSION
- 6.21.16 ZONING
Date Issue

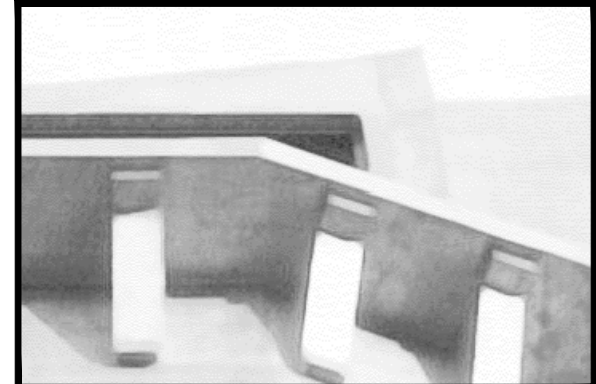
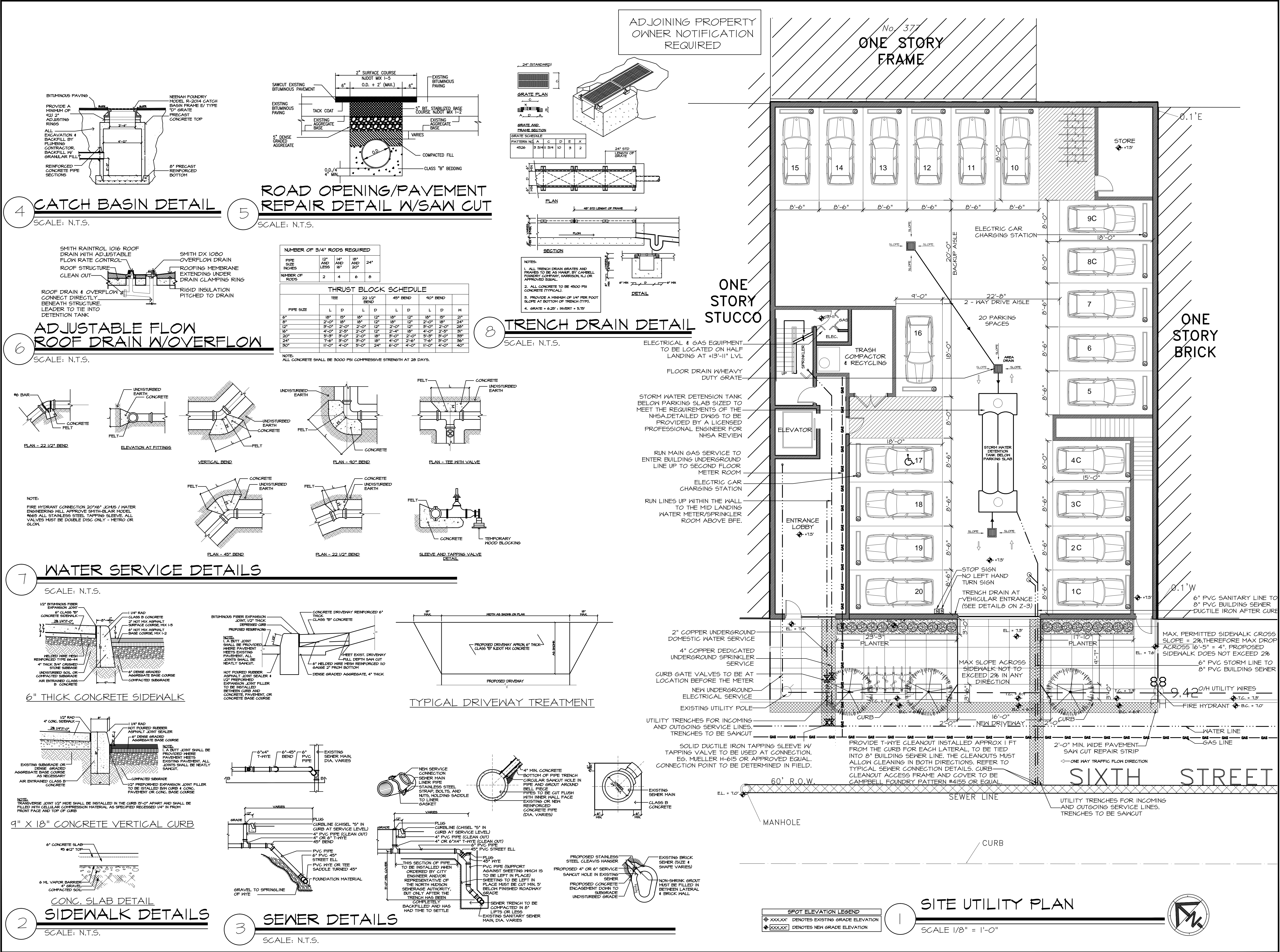
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Project Number :16-1299
Drawn by : MJS
Checked by : FJM, ACV
Scale : As Noted

Sheet Title
EXISTING SITE PLAN &
PROPOSED SITE IMPACT
PLAN



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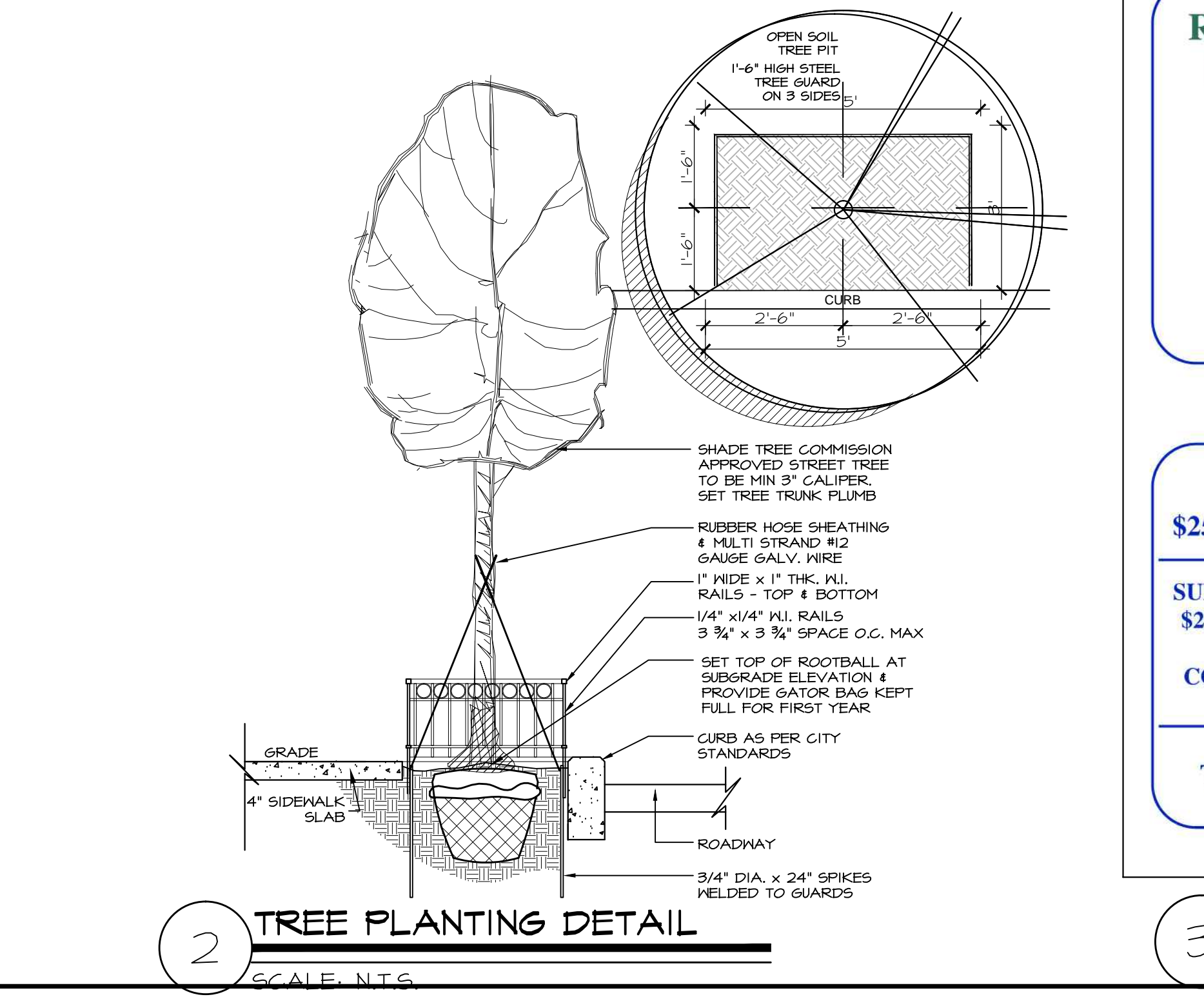
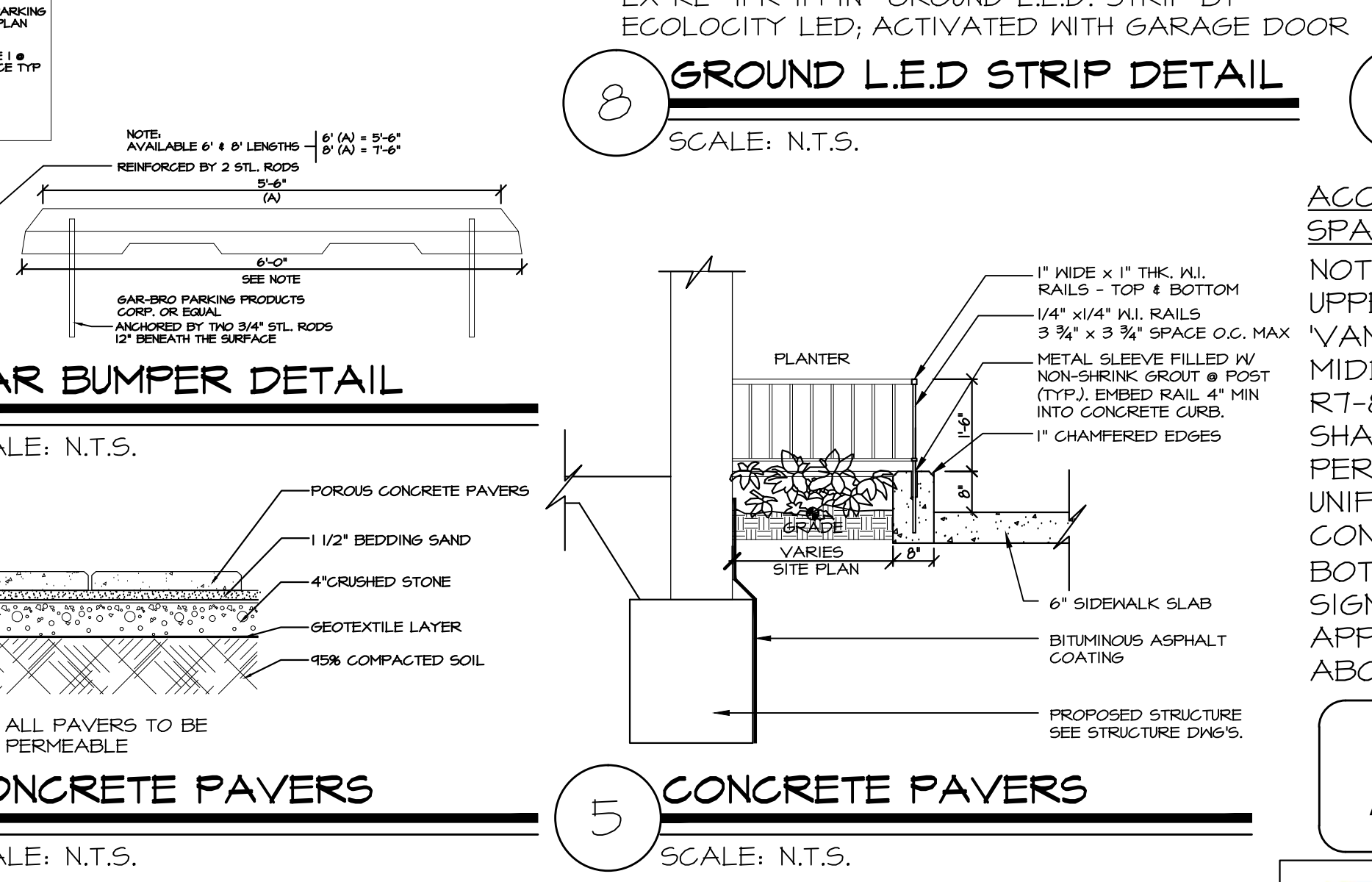
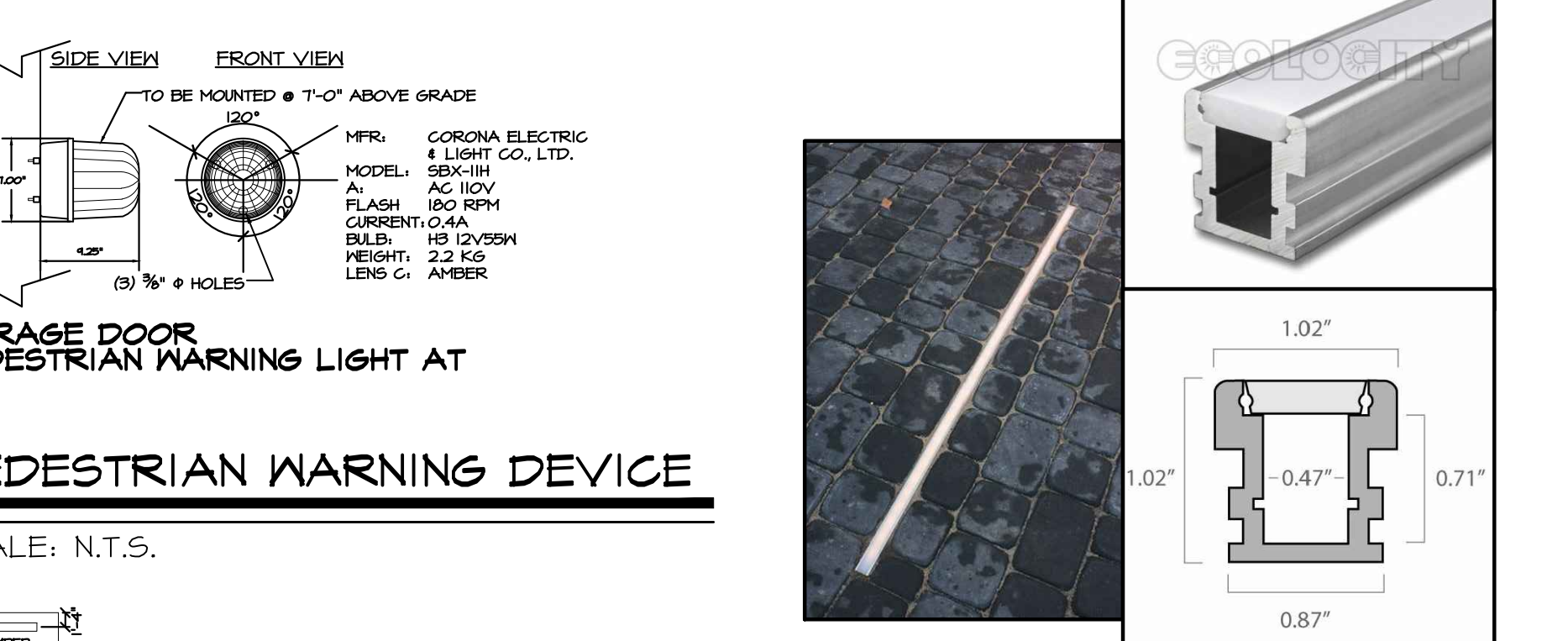
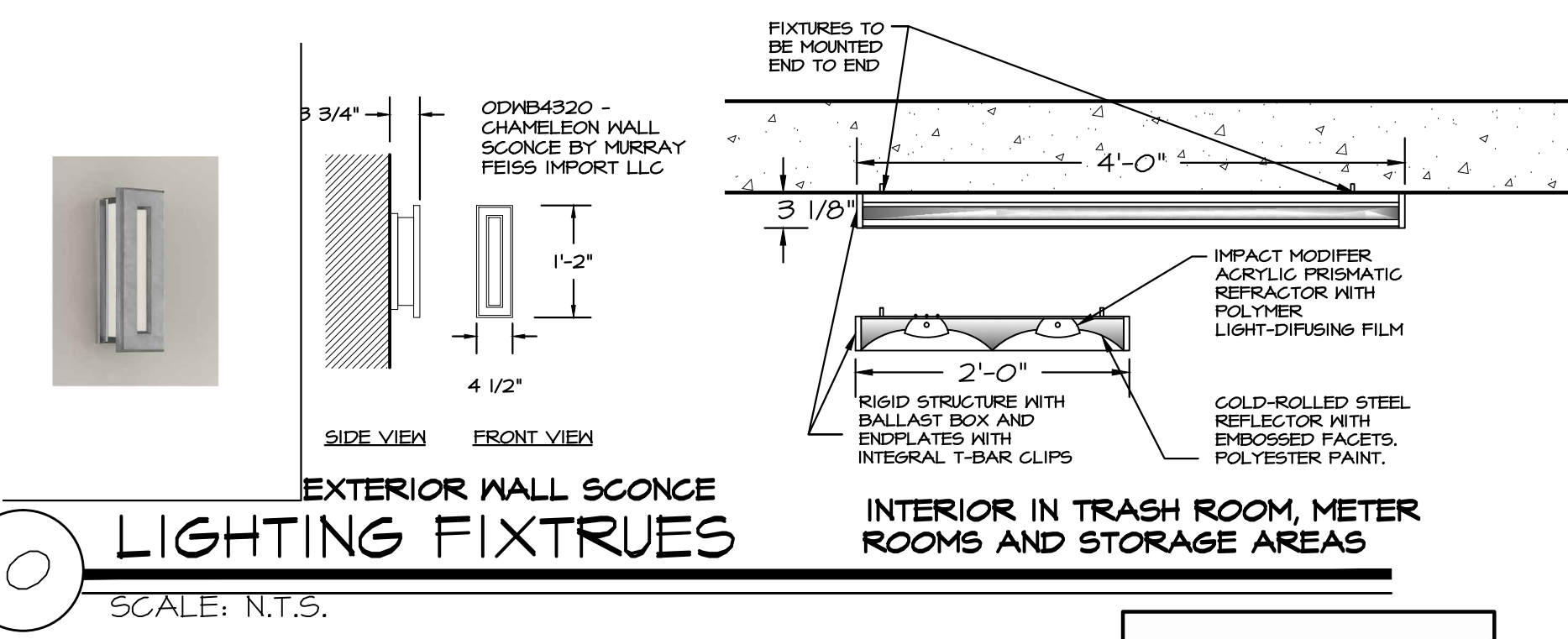
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NY License # 32710-1

Z-3

SIDEWALK LANDSCAPING LEGEND				
SYMBOL	BOTANICAL NAME	COMMON NAME	DESCRIPTION	NOTES
A	EXCELSIOR	GOLDENRAIN TREE	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
B	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
C	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
D	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
E	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
F	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
G	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
H	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
I	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
J	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
K	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
L	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
M	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
N	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
O	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
P	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
Q	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
R	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
S	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
T	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
U	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
V	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
W	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
X	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
Y	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK
Z	TRIAL	LITTLE BANYAN	SMALL TO MEDIUM SIZED TREE SPECIES	STREET PLANTING: MIN. 4" DIAMETER TRUNK

LIGHTING FIXTURE LEGEND				
SYMBOL	MANUFACTURER / MODEL	DESCRIPTION	LAMP TYPE	WATTAGE
A	EXCELSIOR	LED	LED	15 W
B	EXCELSIOR	LED	LED	15 W
C	EXCELSIOR	LED	LED	15 W
D	EXCELSIOR	LED	LED	15 W
E	EXCELSIOR	LED	LED	15 W
F	EXCELSIOR	LED	LED	15 W
G	EXCELSIOR	LED	LED	15 W
H	EXCELSIOR	LED	LED	15 W
I	EXCELSIOR	LED	LED	15 W
J	EXCELSIOR	LED	LED	15 W
K	EXCELSIOR	LED	LED	15 W
L	EXCELSIOR	LED	LED	15 W
M	EXCELSIOR	LED	LED	15 W
N	EXCELSIOR	LED	LED	15 W
O	EXCELSIOR	LED	LED	15 W
P	EXCELSIOR	LED	LED	15 W
Q	EXCELSIOR	LED	LED	15 W
R	EXCELSIOR	LED	LED	15 W
S	EXCELSIOR	LED	LED	15 W
T	EXCELSIOR	LED	LED	15 W
U	EXCELSIOR	LED	LED	15 W
V	EXCELSIOR	LED	LED	15 W
W	EXCELSIOR	LED	LED	15 W
X	EXCELSIOR	LED	LED	15 W
Y	EXCELSIOR	LED	LED	15 W
Z	EXCELSIOR	LED	LED	15 W



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6.21.16	ZONING

Applicant
Kyle Enger

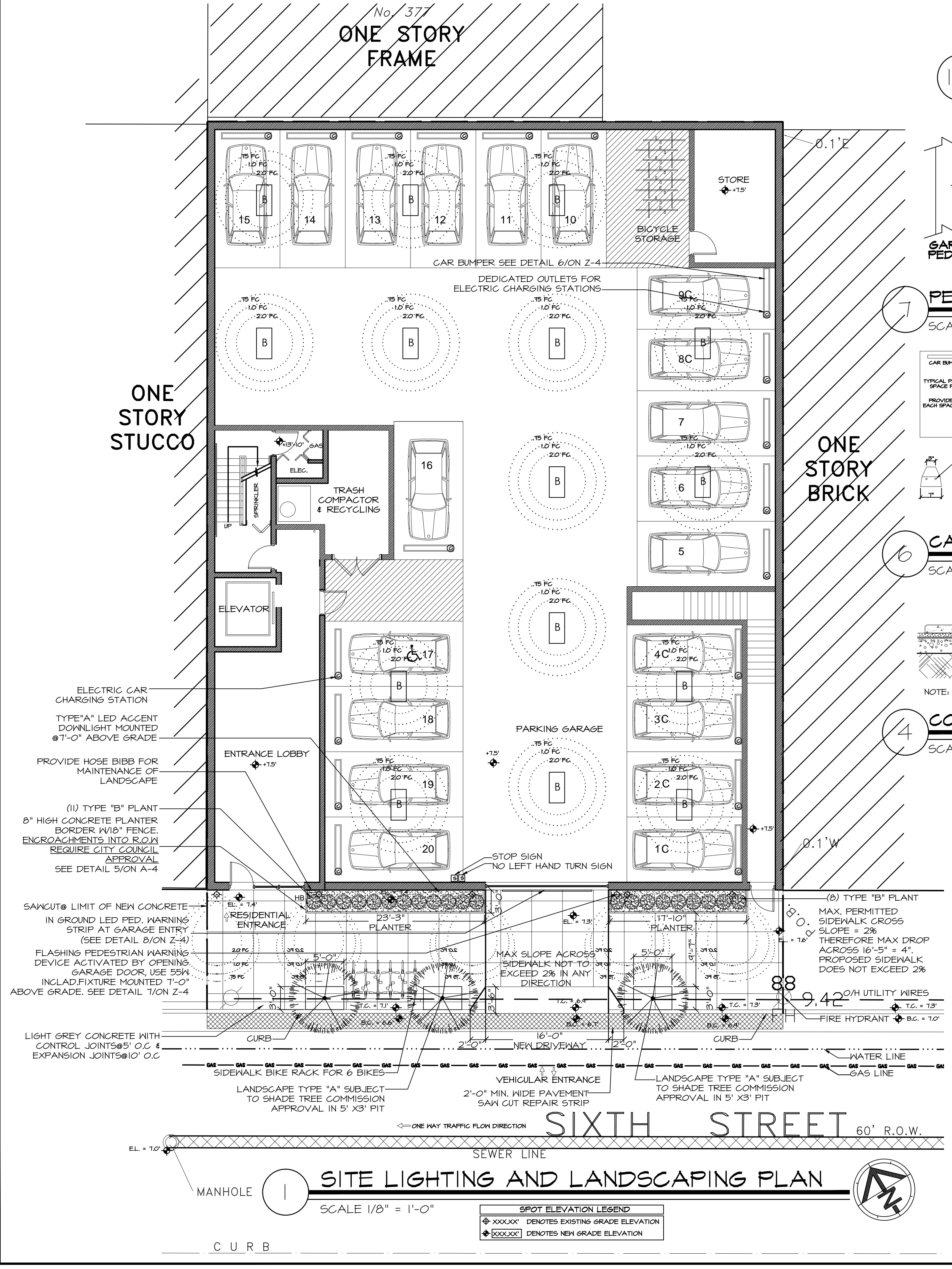
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BLOCK 9803

Project Description
6 STORY BUILDING WITH
5 RESIDENTIAL FLOORS
OVER FIRST FLOOR PARKING

Project Number : 16-1299
Drawn by : MJS
Checked by : FJM, ACV
Scale : As Noted

Sheet Title
SITE PLAN SHOWING
LIGHTING AND
LANDSCAPING

Z-4



VAN ACCESSIBLE

RESERVED PARKING

STOP

NO LEFT TURN

30"x30" STOP SIGN

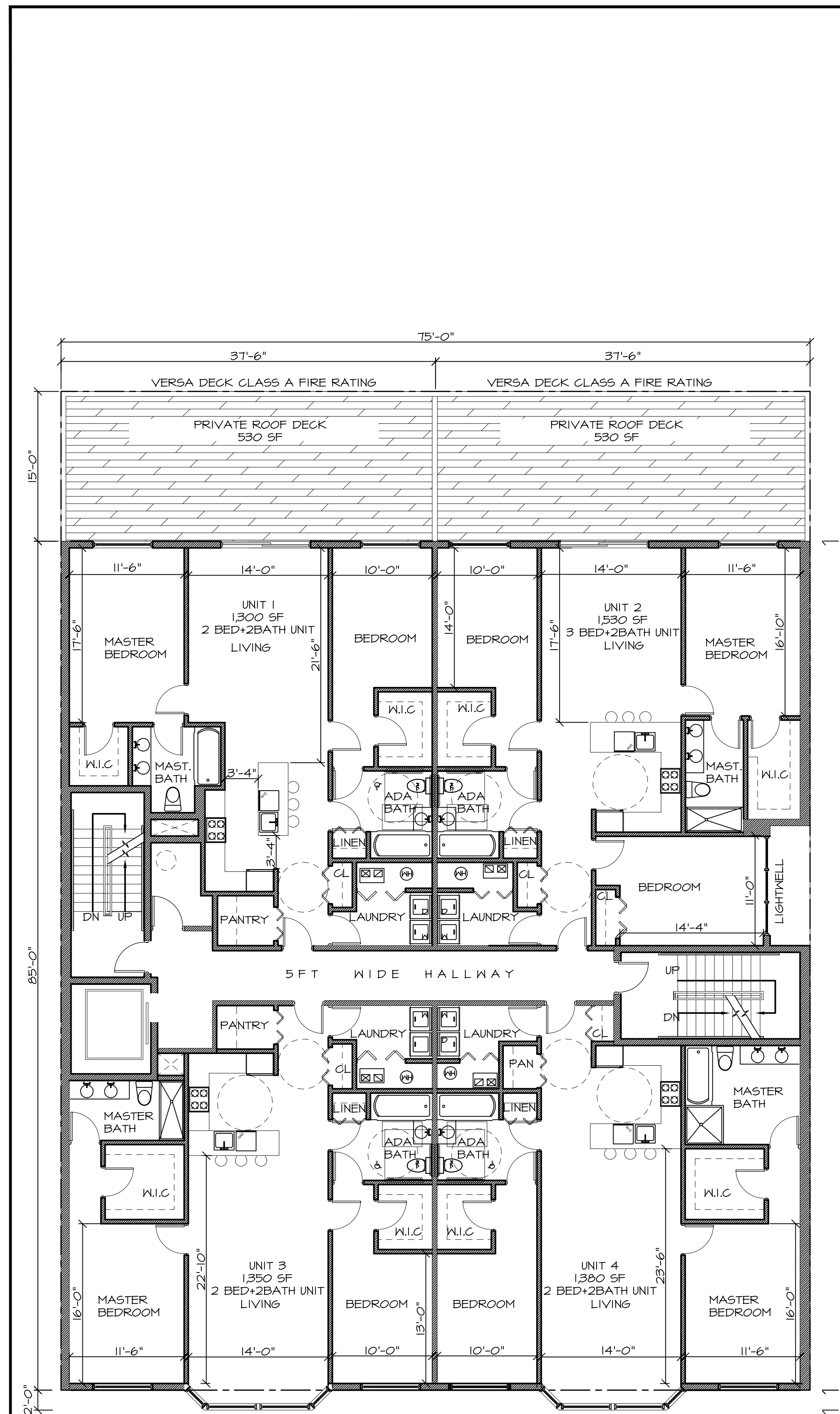
24"x24" NO LEFT TURN SIGN

Penalty \$250-FIRST OFFENSE

SUBSEQUENT OFFENSES \$250 MINIMUM AND/OR UP TO 90 DAYS COMMUNITY SERVICE

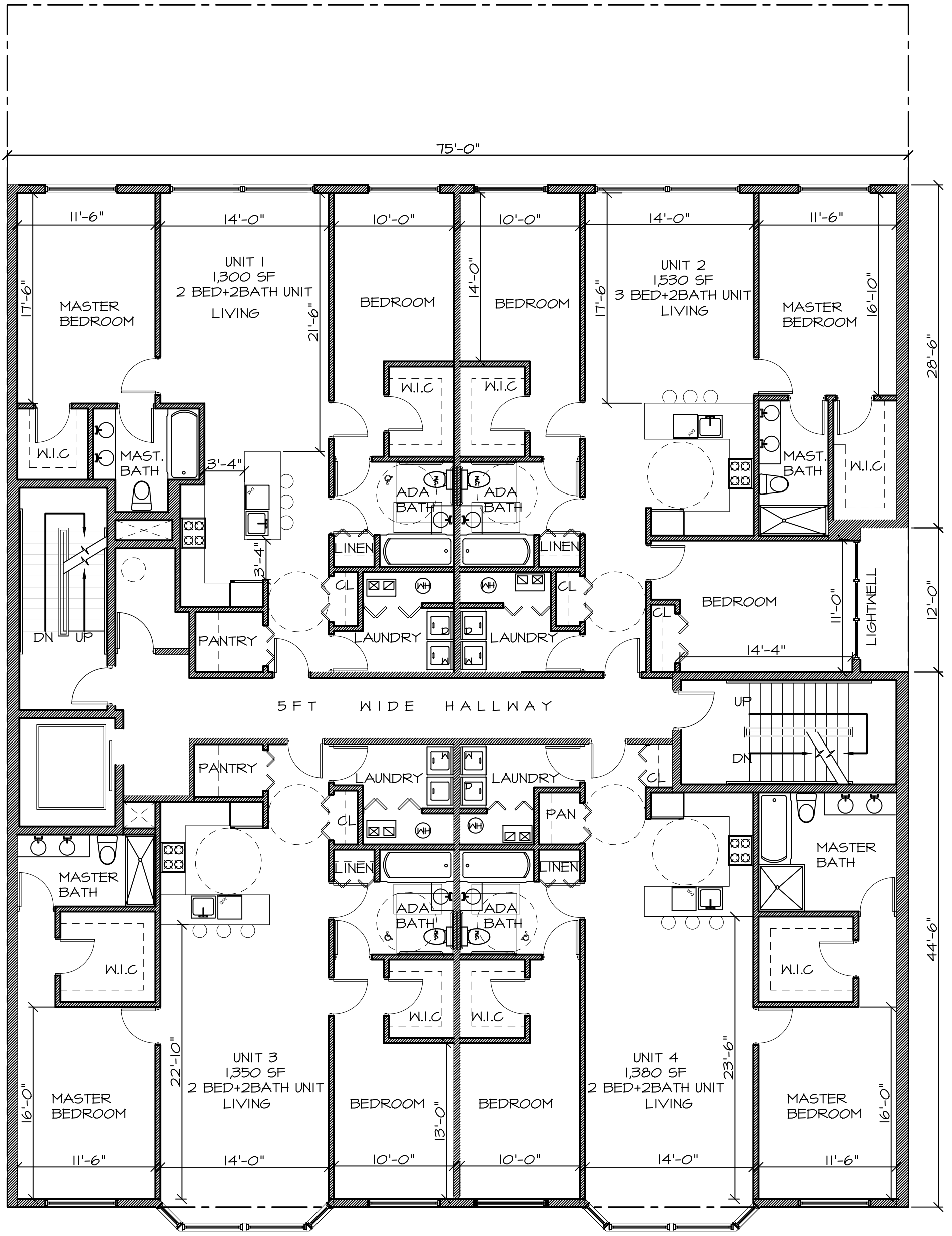
TOW-AWAY ZONE

Car Charging Station

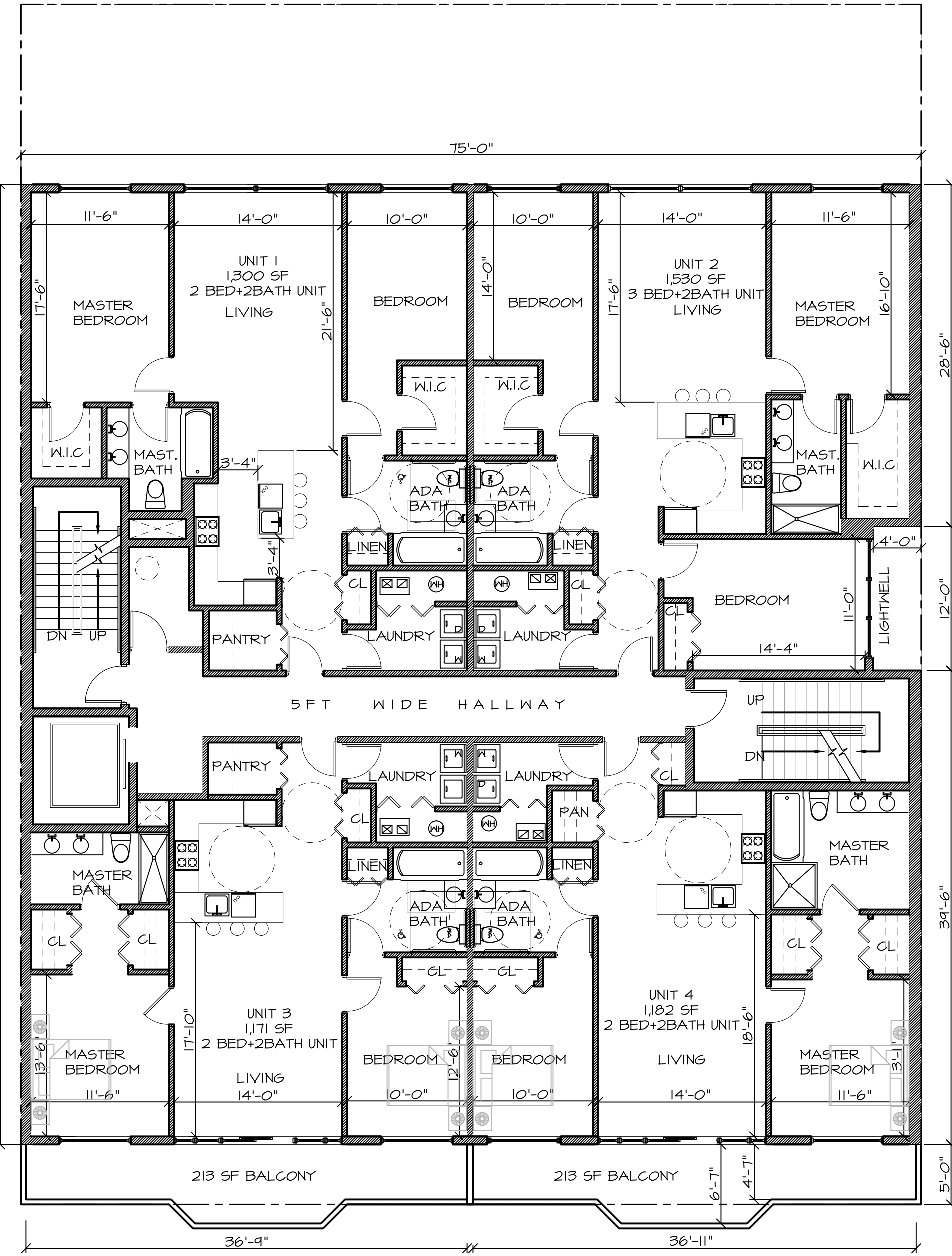


1 SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"

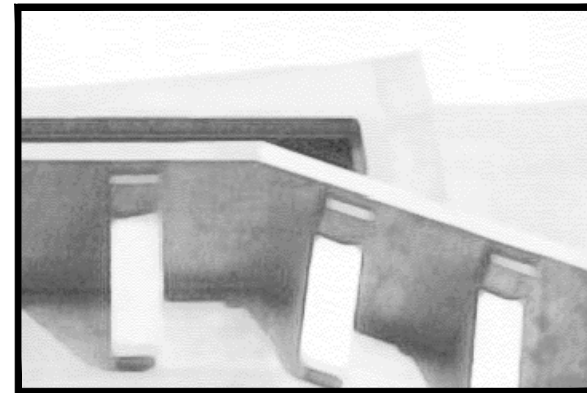
ROOFLANDSCAPING LEGEND					
SYMBOL	BOTANICAL NAME	COMMON NAME	DESCRIPTION	NOTES	QTY.
C	RHODODENDRON PERICLYMENOIDES	PINK AZALEA	HARDY W/ MOUNDED FORM; EXCELLENT FOR MASSING IN SHRUB BORDERS		435
D	HYDRANGEA QUERCIFOLIA	SNOW QUEEN	6'-8' HEIGHT; 4'-6" SPREAD LARGE CLUSTERS OF WHITE FLOWERS. PERFECT FOR SHADY SHRUB BORDERS		431
E	JUNIPERIS CONFERTA	BLUE PACIFIC SHORE JUNIPER	EVERGREEN GROUND COVER; FOLIAGE RANGES FROM LT. TO DRK GREEN, BLUE, SILVER UP TO 15' HEIGHT		431
NOTE: CONTRACTOR TO DETERMINE APPROXIMATE QUANTITIES.					
RHODODENDRON PERICLYMENOIDES		HYDRANGEA QUERCIFOLIA		JUNIPERIS CONFERTA	



2 3RD-5TH FLOOR PLAN
SCALE 1/8" = 1'-0"



3 6TH FLOOR PLAN
SCALE 1/8" = 1'-0"



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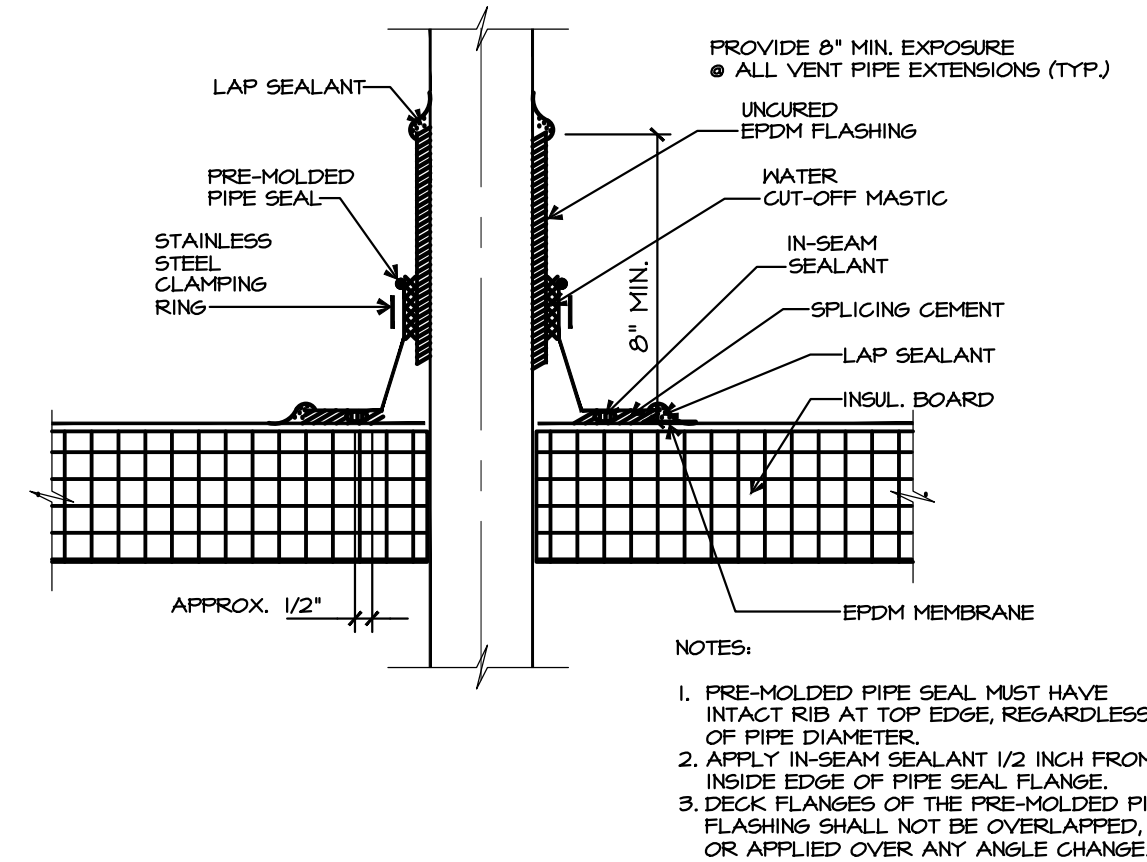
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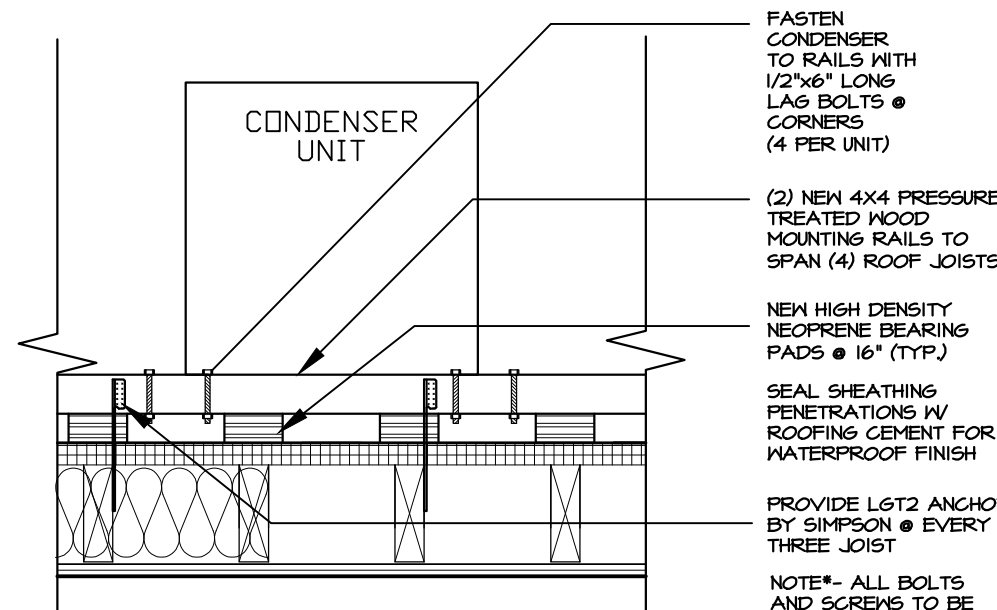
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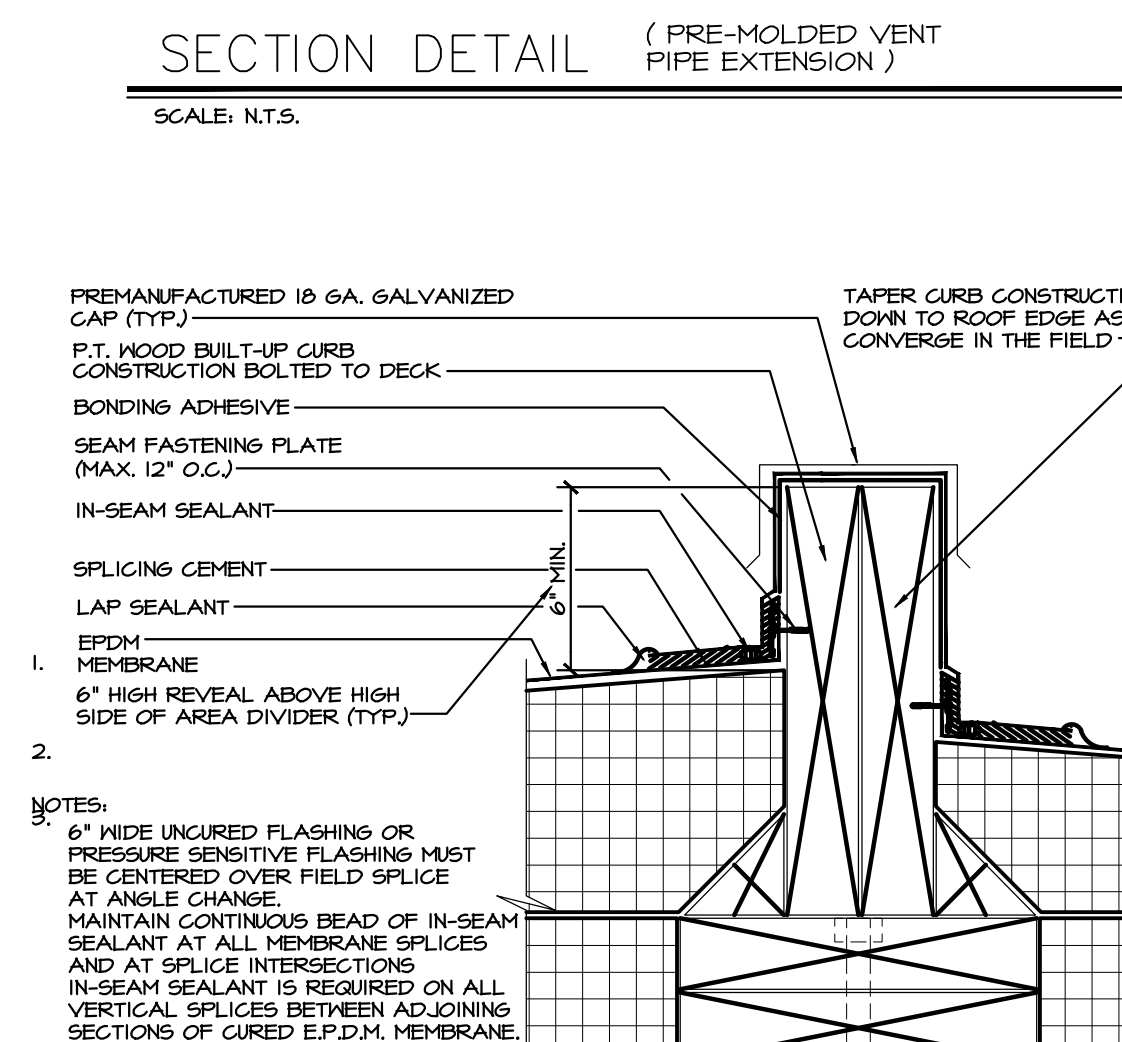
Sheet Title
2ND FLOOR PLAN
3RD - 5TH FLOOR PLAN
6TH FLOOR PLAN



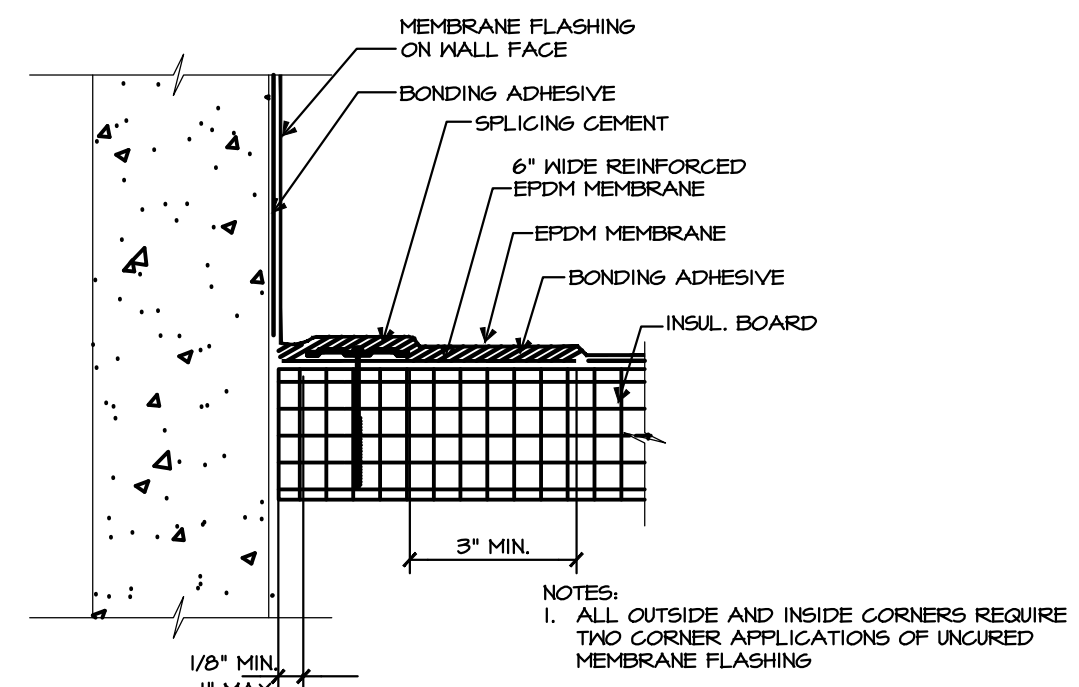
SCALE $\frac{3}{4}" = 1'-0"$



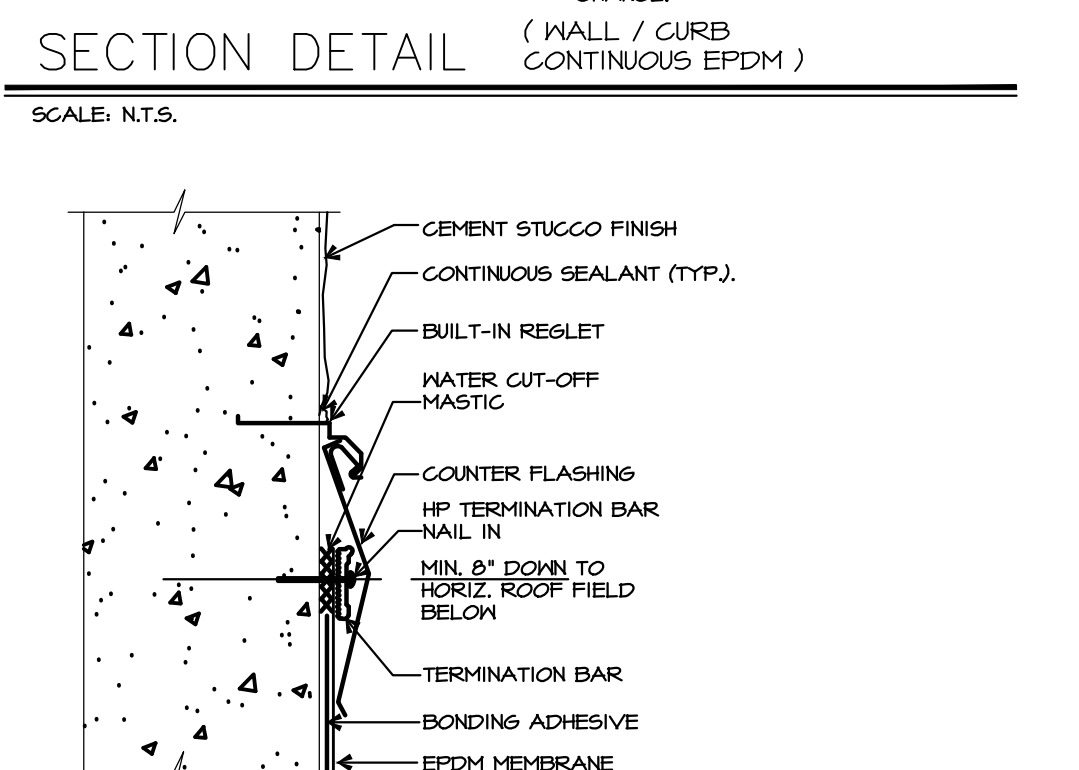
SCALE 1/4" = 1'-0"



SCALE: N.T.S.



SCALE: N.T.S.



SCALE: N.T.S.

SCALE, N.T.S.

ROOFING DETAILS

SCALE : N.T.S.

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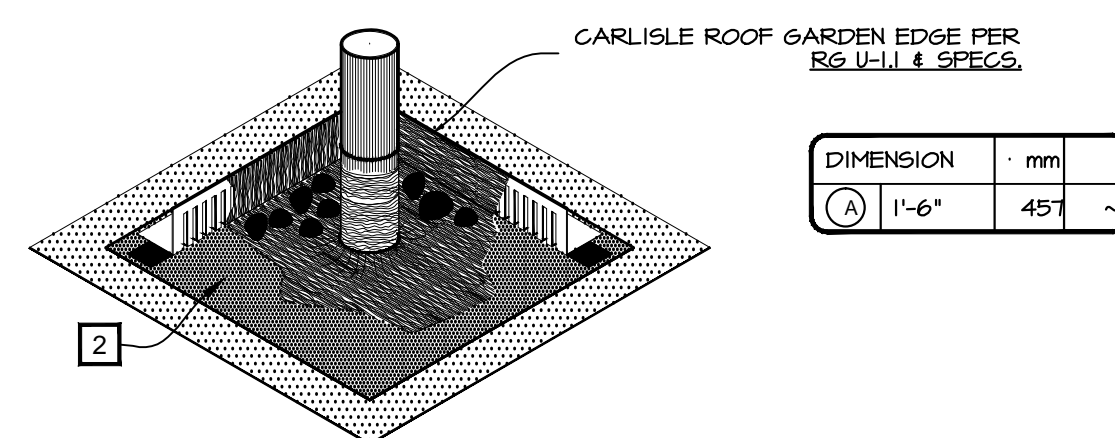
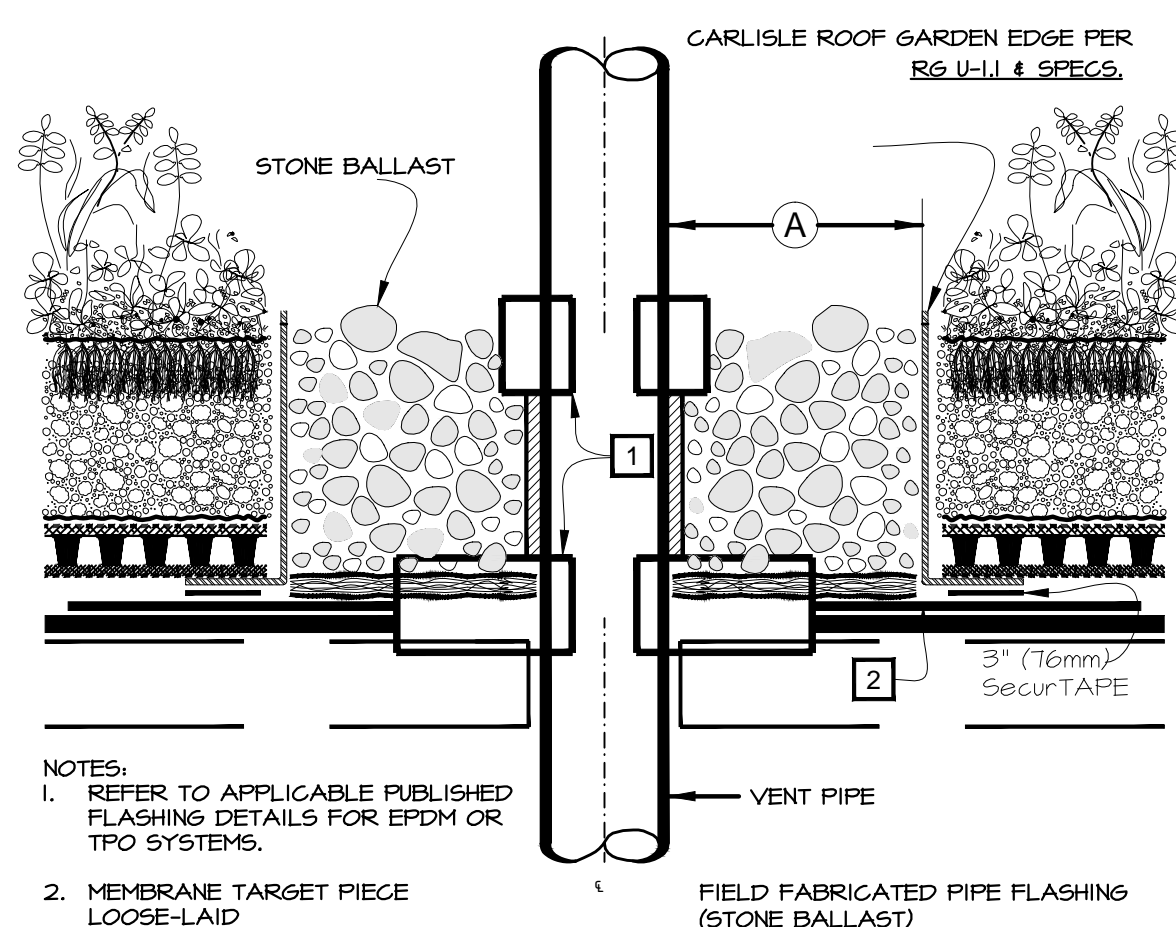
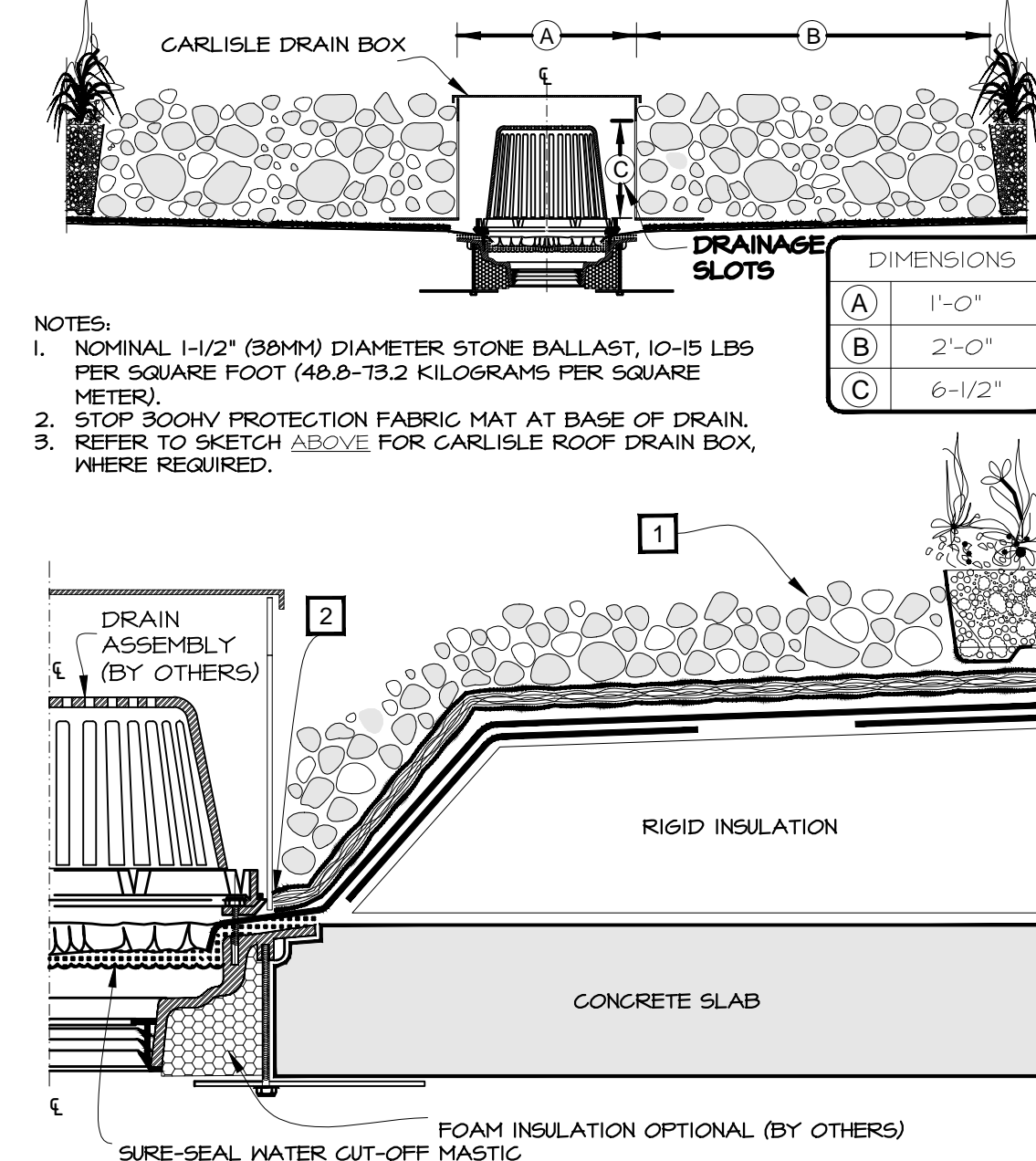
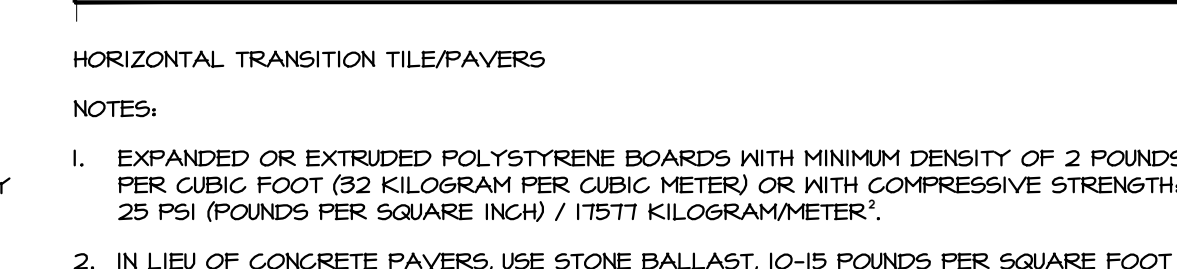
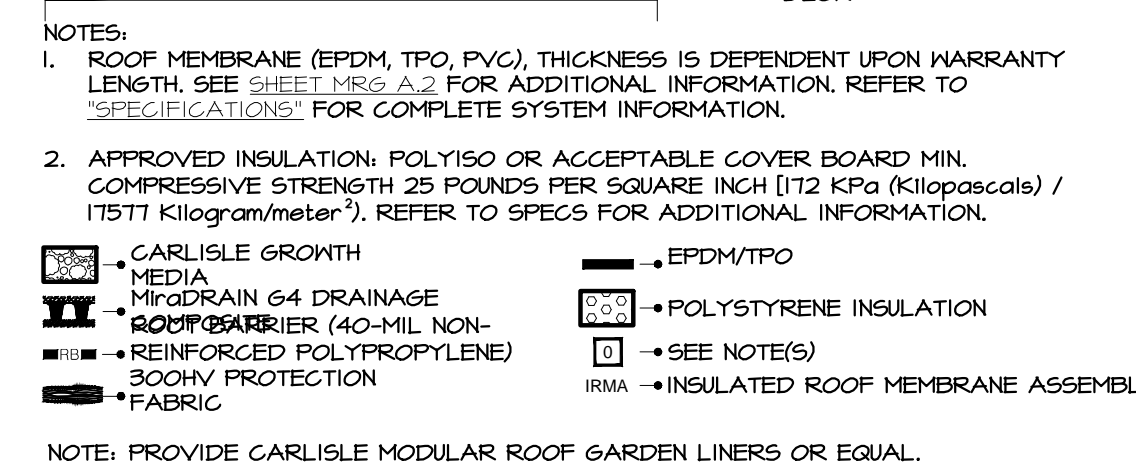
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6 STORY BUILDING WITH 5 RESIDENTIAL FLOORS OVER FIRST FLOOR PARKING

Project Number	: 16-1299
Drawn by	: MJS
Checked by	: FJM, ACV
Scale	: As Noted

Sheet Title
ROOF PLAN, ROOFING AND DECKING DETAILS

Z-6



ENLARGED PLAN VIEW

LEVEL-IT PEDESTAL WITH 4 TABS (TYP)

ADDED PEDESTALS SUPPORTING STEEL PLATE OR PAVER AT DRAINS

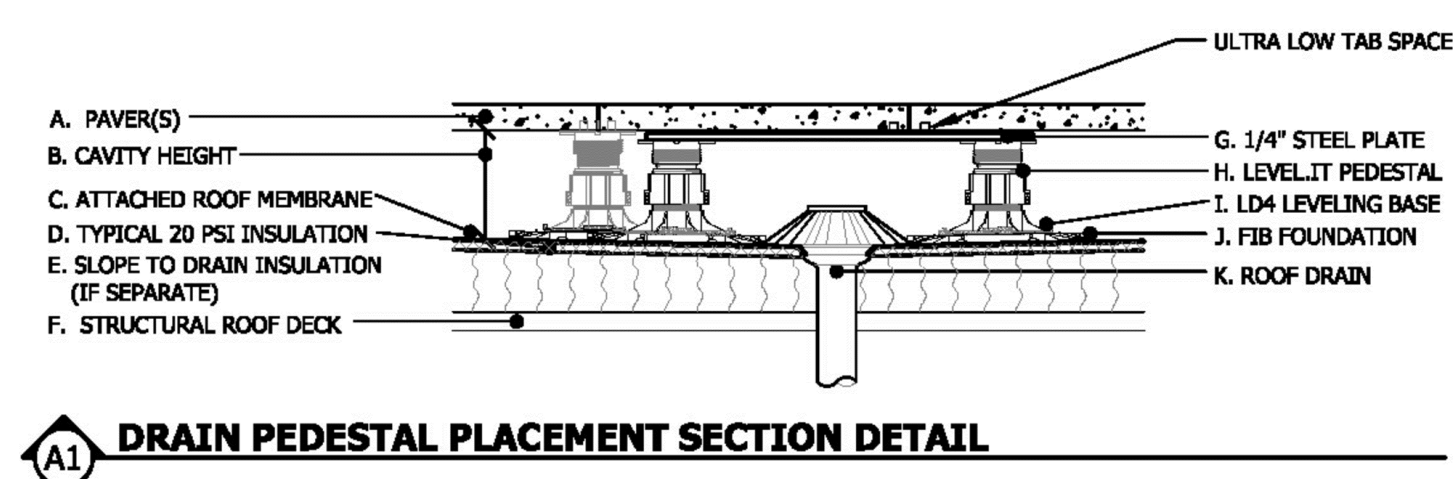
ULTRA LOW PEDESTAL TAB OR FIXED HEIGHT PEDESTAL ON TOP OF STEEL PLATE (IF ADJUSTABLE LEVEL-IT PEDESTAL CANNOT BE USED)

PAVERS

STEEL PLATE (1/4" MIN) OR PAVER FASTENED TO SUPPORTING PEDESTALS

ROOF DRAIN

A1



THRESHOLD HEIGHT VARIES

BOTTOM OF THRESHOLD

TOP OF NEW DECK

TOP OF PEDESTAL

TOP OF WATERPROOFING

VARIES DEPENDING ON DECKING MATERIAL

PEDESTAL HEIGHT VARIES

MAX. GAP 1/8" WIDTH AT PERIMETER (TY)

LD4 BASE LEVEL

DISK FOR SLOPE COMPENSATION (TY)

PAVER

40 PSI BEARING SURFACE (TY)

SLOPE TO DRAIN

INSULATION

ROOF DECK

CAVITY HEIGHT

LEVEL IT PEDESTAL(S)

REMOVE EXTRA TABS ON PEDESTAL AROUND PERIMETER AS NEEDED (TY)

THRESHOLD PEDESTAL PLACEMENT SECTION DETAIL

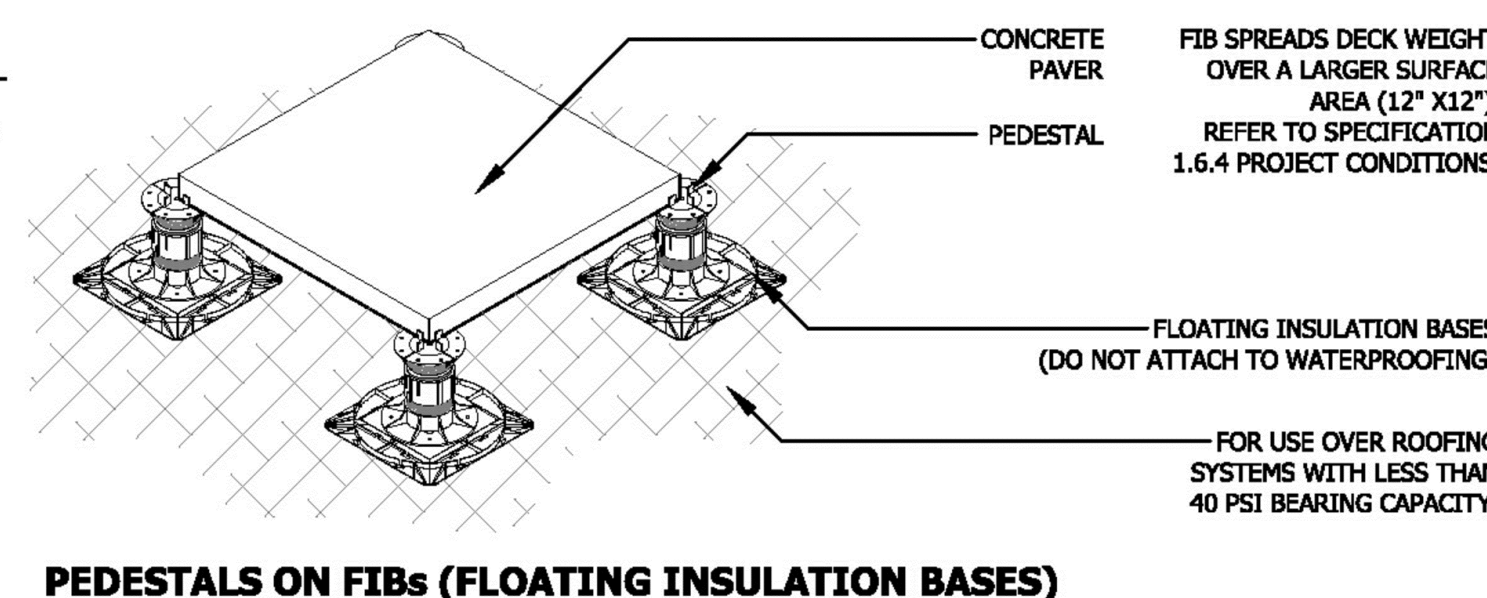
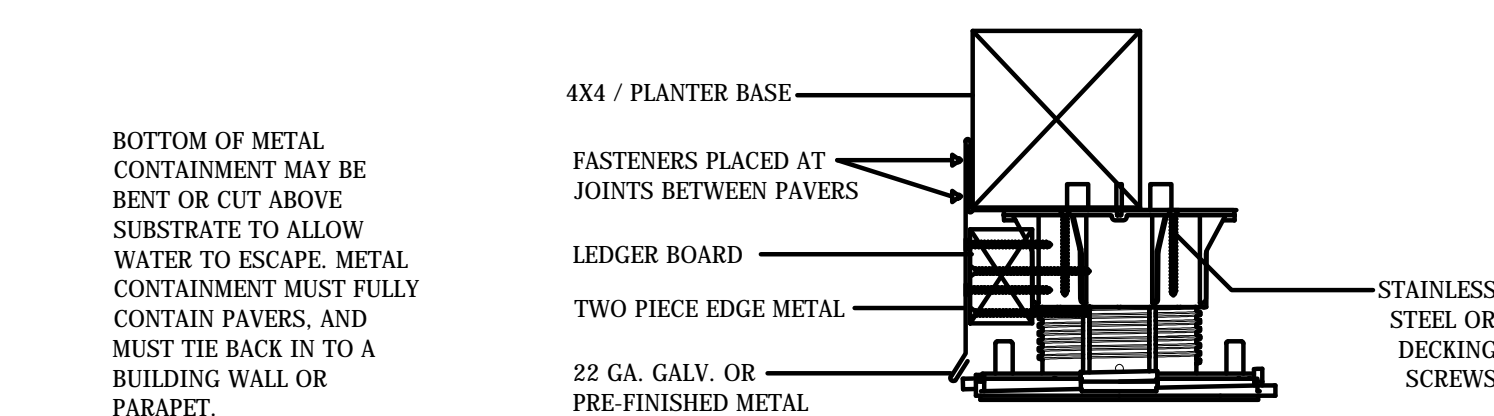


Diagram illustrating the correct installation of a fascia board. The board is flush with the top of the paver, and the ledger board is secured with stainless steel or decking screws. The bottom of the fascia board is shown flush with the substrate.



GREEN ROOF PLANT ESTABLISHMENT PERIOD

THE ESTABLISHMENT PERIOD FOR GREEN ROOF IS THE FIRST FULL GROWING SEASON FOLLOWING PLANTING. CAREFUL WATERING AND ATTENTION TO THE GREEN ROOF SYSTEM IS KEY TO MAINTAINING A HEALTHY ROOF AND HEADING-OFF FUTURE MAINTENANCE DIFFICULTIES.

INSTALLATION SEASON ESTABLISHMENT PERIOD

FALL / WINTER:	SPRING & SUMMER OF THE FOLLOWING YEAR
SPRING:	UNTIL ONSET OF COOL FALL WEATHER
SUMMER:	THROUGH SUMMER OF THE FOLLOWING YEAR

DURING ESTABLISHMENT PERIOD, CHECK GREEN ROOF FREQUENTLY TO ENSURE THAT THE AUTOMATIC IRRIGATION SYSTEM (IF INSTALLED) IS FUNCTIONING PROPERLY, TO HAND-WATER (IF NECESSARY), AND TO WEED OUT ANY INVASIVE PLANTS. DOCUMENT ALL MAINTENANCE ACTIVITIES.

RECOMMENDED GREEN ROOF WATERING SCHEDULE

SEDUM CUTTINGS

- OVERHEAD WATERING TWICE DAILY FOR THE FIRST TWO (2) WEEKS
 - ONCE A DAY FOR THE THIRD WEEK
 - ONCE A WEEK FOR THE NEXT FOUR (4) WEEKS
 - FOR THE DURATION OF THE ESTABLISH. PERIOD AS-NEEDED, CHECK AT LEAST WEEKLY.
- SEDUM PLUGS, TILES, AND PRE-GROWN GREEN ROOF TRAYS
- ONCE A WEEK FOR THE FIRST FOUR (4) WEEKS
 - FOR THE DURATION OF THE ESTABLISH. PERIOD: AS-NEEDED, CHECK AT LEAST WEEKLY.

ONGOING MAINTENANCE ACTIVITIES

A GREEN ROOF SHOULD BE INSPECTED AT LEAST ONCE PER MONTH DURING THE GROWING SEASON TO ASSESS VEGETATIVE COVER AND TO LOOK FOR LEAKS OR DRAINAGE PROBLEMS. DOCUMENT ALL MAINTENANCE ACTIVITIES.

- REMOVE ALL DEBRIS THAT CAN BLOCK DRAINAGE AND SMOTHER GREEN ROOF PLANTS.
- HAND WEED, DO NOT DIG OR USE POINTED TOOLS WHERE THERE IS POTENTIAL TO HARM THE ROOT BARRIER OR WATERPROOF MEMBRANE.
- INSPECT ROOF DRAINS, DRAINAGE PATHS, SCUPPERS, AND GUTTERS TO ENSURE THEY ARE NOT OVERGROWN.
- REPLACE PLANTS & GROWING MEDIA AS NECESSARY.
- CHECK MOISTURE LEVELS AND WATER AS NECESSARY PER INSTALLERS RECOMMENDATIONS BUT DO NOT OVER WATER.
- REGULARLY CHECK IRRIGATION SYSTEM AND WINTERIZE YEARLY
- AVOID THE USE OF HERBICIDES, INSECTICIDES, AND FUNGICIDES.
- DO NOT POWER WASH

* INFORMATION PROVIDED BY:
COLUMBIA GREEN TECHNOLOGIES - INFO@COLUMBIA-GREEN.COM -
WWW.COLUMBIA-GREEN.COM

GREEN ROOF MAINTENANCE SCHEDULE

Minervini Vandermark
Architecture

Minervini Vandermark, LLC

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-	11.10.16	ZONING RESUBMISSION
-	6.21.16	ZONING
#	Date	Issue

Applicant
Kyle Enger

Address

366 - 377 SIXTH STREET,
JERSEY CITY.
LOT 9
BLOCK 9803

Project Description

6 STORY BUILDING WITH
5 RESIDENTIAL FLOORS
OVER FIRST FLOOR PARKING

Project Number	: 16-1299
Drawn by	: MJS
Checked by	: FJM, ACV
Scale	: As Noted

Sheet Title

BISON PEDESTAL GREEN ROOF DETAILS

Z-6B



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Sheet Title

BUILDING ELEVATIONS
FRONT & REAR

Z-7





360 Fourteenth St.
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A square QR code located in the bottom right corner of the page, next to the website URL.

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-	6.21.16	ZONING
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Applicant
Kyle Enger

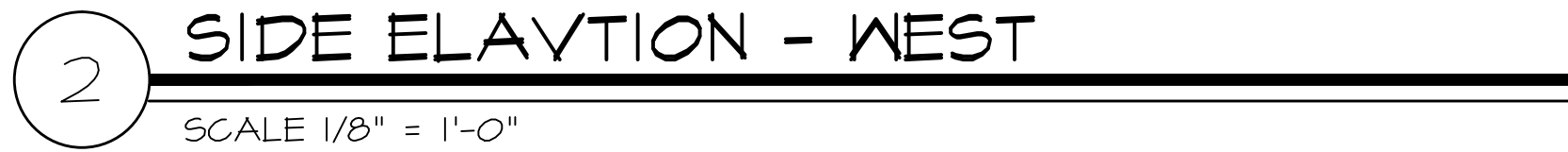
Address
366 - 377 SIXTH STREET, JERSEY CITY. LOT 9 BLOCK 9803

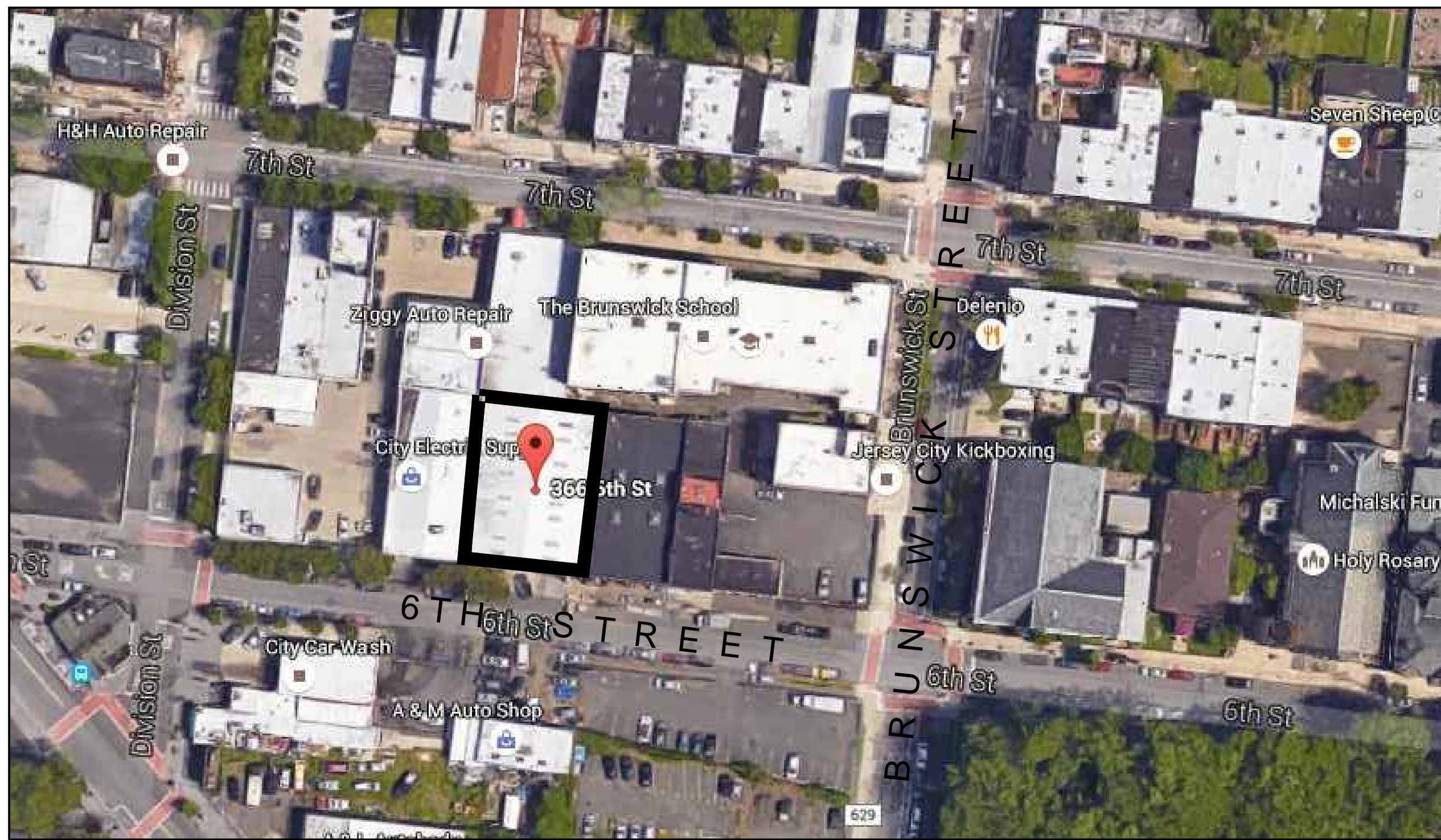
Project Description
6 STORY BUILDING WITH 5 RESIDENTIAL FLOORS OVER FIRST FLOOR PARKING

Project Number	: 16-1299
Drawn by	: MJS
Checked by	: FJM, ACV
Scale	: As Noted

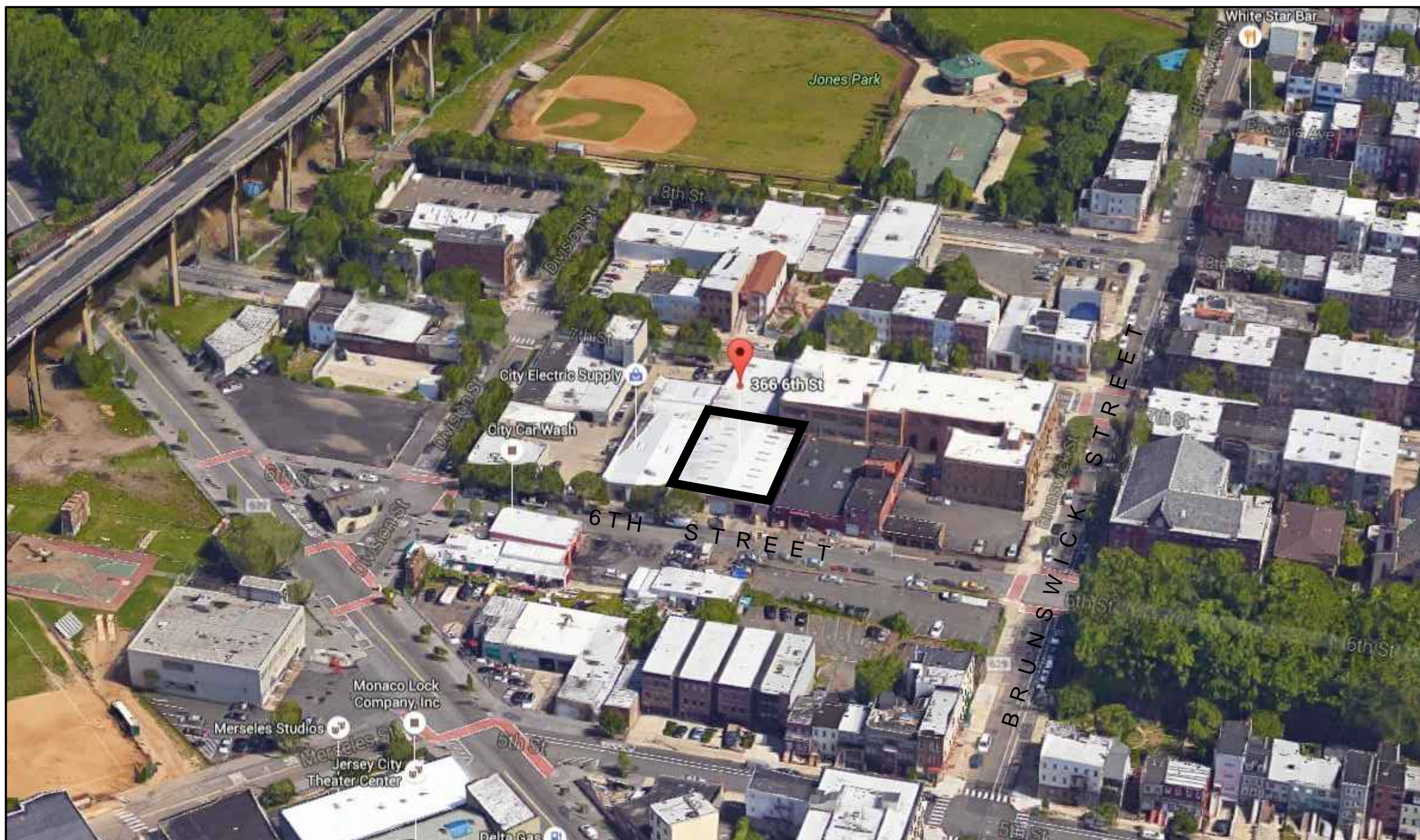
Sheet Title
BUILDING ELEVATIONS EAST AND WEST

Z-8





1 TOP ARIAL VIEW
SCALE: N.T.S



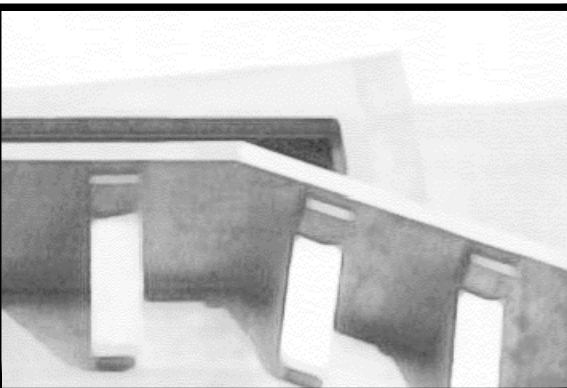
2 BIRD'S EYE VIEW
SCALE: N.T.S



3 6TH STREET ELEVATION LOOKING WEST
SCALE: N.T.S



4 6TH STREET ELEVATION LOOKING EAST
SCALE: N.T.S



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-	6.21.16	ZONING
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Sheet Title

SITE PHOTOS

Z-9